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MAR - 7 2023
CODES DEPARTMENT
CALN TOWNSHIP

253 Municipal Dr, Thorndale, PA 19372
Phone: 610-384-0600 | Fax: 610-384-0617
www.calntownship.org

SUBDIVISION / LAND DEVELOPMENT PLAN APPLICATION

PROJECT NAME (TO BE COMPLETED BY TOWNSHIP): The Farmhouse

NAME OF APPLICANT: Dana Petrizzio (Farmhouse Enterprises, LLC)

DATE OF APPLICATION: ~~3/1/23~~ RESUBMITTED 9/8/2023 SUBMISSION # 22-00719-2

LOCATION OF PROPERTY: 4000 LINCOLN HIGHWAY, THORNDALE, PA 19372

TAX PARCEL ID NUMBER: 3904 01380100 ZONING DISTRICT: TV-1

TYPE OF SUBMISSION:

SKETCH PLAN (8) FINAL PLAN (8)

PRELIMINARY PLAN (8) OTHER

IN ADDITION: (1) 11X17 PLAN AND A FLASH DRIVE CONTAINING ALL PLANS IS REQUIRED.

APPLICANT'S NAME: Dana Petrizzio

MAILING ADDRESS: 1478 W STONINGTON DRIVE, DOWNINGTOWN, PA 19335

PHONE NUMBER: 215.416.8246 FAX NUMBER: _____

E-MAIL ADDRESS: dlabruna@comcast.net

OWNER OF RECORD: DPP2022 Properties, LLC

MAILING ADDRESS: 1478 W STONINGTON DRIVE, DOWNINGTOWN, PA 19335

PHONE NUMBER: 215.416.8246 FAX NUMBER: _____

E-MAIL ADDRESS: dlabruna@comcast.net

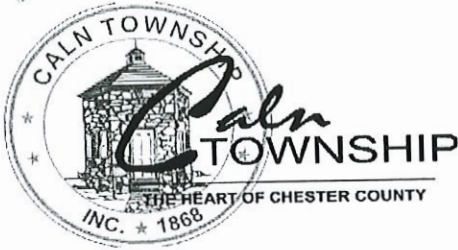
PROJECT ATTORNEY: Hudson L. Voltz

MAILING ADDRESS: 17 E. Gay Street, West Chester, Pa 19380

PHONE NUMBER: 610-6968225 FAX NUMBER: _____

E-MAIL ADDRESS: Hvoltz@gawthrop.com

PROJECT ENGINEER	VASTARDIS CONSULTING ENGINEERS	ARCHITECT:
MAILING ADDRESS:	29 HARVEY LANE MALVERN, PA 19355	ARCHITETRA, p.c.
PHONE NUMBER:	610.644.9663	1500 E LANCASTER AVENUE, SUITE 103 PAOLI, PA 19301
E-MAIL ADDRESS:	VCELLC@VERIZON.NET	FAX NUMBER: 610.644.3789
		610.993.9111
		jmlombardi@architetra.com



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PROPOSED LAND USE (X)	SPECIFIC TYPE OF USE, AS DEFINED BY CALN TOWNSHIP	TOTAL NUMBER OF LOTS / UNITS	TOTAL SQ. FOOTAGE OF NON-RESID. BUILDINGS
AGRICULTURAL			
CONSERVATION			
RESIDENTIAL			
COMMERCIAL	X RESTAURANT	1	6,806 SF & 1,200 SF
INDUSTRIAL			
INSTITUTIONAL			
MUNICIPAL			
OTHER			

TOTAL LAND AREA (ACRES): 2.095 ACRES RESIDENTIAL DENSITY: _____

TOTAL LAND AREA BEING DEVELOPED: 1.22 ACRES TOTAL PHASES: 2

TOTAL LENGTH OF NEW ROADS (LINEAR FEET): 0

PROPOSED METHOD OF SEWAGE DISPOSAL: PUBLIC

PROPOSED METHOD OF WATER SUPPLY: PUBLIC

EIGHT COMPLETE SETS OF PLANS, ONE ORIGINAL APPLICATION AND THREE COPIES OF ALL SUPPLEMENTAL DOCUMENTS OR REPORTS SHALL BE SUBMITTED TO CALN TOWNSHIP IN ACCORDANCE WITH THE PROCEDURES ADOPTED BY THE CALN TOWNSHIP BOARD OF COMMISSIONERS. THE FOLLOWING INFORMATION HAS BEEN SUBMITTED WITH THIS APPLICATION:

TITLE OF SUBMISSION AND DESCRIPTION CONTENTS	COPIES	REFERENCE NUMBER	DATE
SKETCH SITE PLAN	8	SP.1	12.06.2022
PRELIMINARY FIRST FLOOR PLAN	8	A2.0	12.06.2022
EXTERIOR ELEVATIONS	8	A3.0	12.06.2022
EXTERIOR ELEVATIONS	8	A3.1	12.06.2022
EXTERIOR 3D VIEWS	8	A3.2	12.06.2022



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Dana Petrizio (AUTHORIZED REPRESENTATIVE OF THE APPLICANT) HEREBY REQUEST REVIEW OF THIS APPLICATION BY CALN TOWNSHIP. TO THE BEST OF MY KNOWLEDGE, ALL OF THE INFORMATION CONTAINED WITHIN THIS APPLICATION IS TRUE, CORRECT AND COMPLETE. FURTHER, I HEREBY AGREE TO THE FOLLOWING SPECIFIC TERMS AND CONDITIONS:

- (1) I HEREBY PERMIT ANY ELECTED, APPOINTED AND/OR ASSIGNED STAFF MEMBER OF CALN TOWNSHIP TO ENTER THE EXTERIOR PREMISES OF THE PROPERTY, IN WHICH THIS APPLICATION PERTAINS, FOR THE PURPOSES OF CONDUCTING SITE INSPECTIONS WHILE THE PROPOSED APPLICATION IS BEING CONSIDERED BY CALN TOWNSHIP.
- (2) I HEREBY AGREE TO PAY ALL CONSULTANT, ADMINISTRATIVE AND/OR APPLICATION FEES REQUIRED FOR THE REVIEW OF THIS APPLICATION.
- (3) I HEREBY AGREE TO COMPLETE AND SUBMIT TO CALN TOWNSHIP, THE CHESTER COUNTY REFERRAL FORM AND APPLICABLE FEES WITH THIS APPLICATION.

SIGNATURE OF APPLICANT OR AUTHORIZED REPRESENTATIVE

DATE OF APPLICATION

3/3/23

SIGNATURE OF WITNESS

DATE

FOR MUNICIPAL USE ONLY

AUTHORIZED STAFF MEMBER: Ehany

APPLICATION NAME: The Farmhouse

APPLICATION # 22-00279

SUBMISSION DATE: 3.7.23

RESUBMITTED 9/8/2023

SUBMISSION NUMBER: 1

CALN TWP. FEE: _____

CHECK NUMBER: _____

DATE: _____

CHESTER COUNTY PC FEE: _____

OTHER APPLICATION FEES: _____

10/17/2023

DATE APPLICATION WILL BE REVIEWED BY TOWNSHIP PLANNING COMMISSION: _____

3/21/23

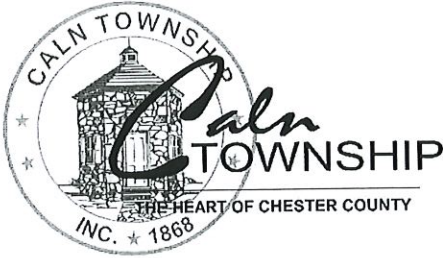
APPLICATION COMPLETENESS REVIEW: RS

DATE: 9/8/2023

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CALN TOWNSHIP



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CODES DEPARTMENT
CALN TOWNSHIP

THIS CONTRACT is made this 3 day of March, 2023,
by Diana Petruzzio (the "Property Owner"), whose mailing
address is: 1478 W. Stonington Dr. Downingtown Pa 19335

WHEREAS, the Property Owner is the legal or equitable owner of certain real estate bearing Chester County Tax Map Parcel No. 39 -, located at address 4000 Lincoln Hwy, Downingtown Pa in Caln Township (hereinafter referred to as the "Site"); and 19335

WHEREAS, the Property Owner has presented to Caln Township (the "Township") plans for grading, subdivision, land development, zoning or other building development of the Site (hereinafter referred to as the "Project"); and

WHEREAS, the Property Owner has requested and/or requires the Township's approval for the Project and/or review of the Property Owner's plans and proposals concerning the Project, and the Township is willing to authorize its Consultants to review said plans and proposals concerning the Project upon execution of this Contract.

NOW, THEREFORE, the Property Owner agrees as follows:

1. The Property Owner acknowledges that the Township will incur costs and fees relating to the review of the Project by the Consultants, and the Property Owner agrees to pay and/or reimburse the Township for such costs in accordance with this Contract. The Property Owner has received, read, and understands the Township's Consultant Fee Reimbursement Policy and Procedures, which are incorporated into this Contract by reference.
2. The Property Owner shall pay the Township's Consultants' costs and fees for the following: (a) review of any and all plans, proposals, studies or other correspondence relating to the Project; (b) attendance at any and all meetings relating to the Project; (c) preparation of any documents related to the Project, including, but not limited to: studies, reports, engineered plans, surveys, appraisals, agreements, deeds, declarations, easements, other legal documents or other correspondence; and (d) monitoring, testing, and inspecting of the work conducted by the Property Owner and/or its agents, contractors, representatives or employees in conjunction with the Project. It is understood by executing this Contract that the Property Owner specifically accepts the fee schedules currently

in effect and the fee schedules for Consultants that may come in effect during the duration of the Project.

3. The Property Owner further agrees that all fees or costs arising out of this Contract shall be fully paid prior to the issuance of any permit or approval for Project. The Property Owner agrees and acknowledges that no permit, occupancy, or issuance of recordable plans shall be released by the Township until all outstanding Consultant fees and costs are paid to the Township, provided that the Property Owner is not otherwise in default under this Contract.
4. The Property Owner may at any time terminate all future obligations under this Contract by giving written notice to the Township that it does not desire to proceed with the Project. Upon receipt of such written notice by the Township, the Property Owner shall only be liable to the Township for the Township and its Consultant's expenses, costs, charges, and fees incurred prior to the receipt of the written notice. Property Owner acknowledges and agrees that invoices for services performed on all dates prior to the date of receipt of the termination notice by the Township shall remain the responsibility of the Property Owner regardless of the date of the invoice or the date of mailing of such invoice to the Township or the Property Owner.
5. The Property Owner and the Township agree that the Township shall have the rights and privilege to sue the Property Owner in assumpsit for reimbursement, to lien the Property Owner's property or both, in its sole discretion, for any expense incurred by the Township's Consultants for the Project in excess of the then current balance of the established escrow with the Township. The Township's election of remedies under this paragraph shall not constitute a waiver of any other remedies the Township may have at law or in equity.
6. This Contract shall be binding on and inure to the benefit of the successors and assigns of the Property Owner. The Property Owner shall provide the Township with at least thirty (30) calendar days advance written notice of any proposed assignment of the Property Owner's rights and responsibilities under this Contract.
7. This Contract shall be governed by and construed under the laws of the Commonwealth of Pennsylvania and all actions shall be brought in the Court of Common Pleas for Chester County.
8. If any provision of this Contract is determined by a court of competent jurisdiction to be illegal, invalid, unenforceable, unconstitutional or void, for any reason, only that provision shall be illegal, invalid, unenforceable, unconstitutional or void and the remainder of this Contract shall be in full force and effect.

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IN WITNESS WHEREOF, and intending to be legally bound, the Property Owner has caused his/her signatures to be affixed and have affixed their hands and seals the day and year first above written.

WITNESS the following signatures and seals:

Attest:

[Signature]

Property Owner:

[Signature]

COMMONWEALTH OF PENNSYLVANIA :
: SS
COUNTY OF CHESTER :

On this, the 7 day of March, 2023, before me the undersigned, a notary public for the Commonwealth of Pennsylvania, residing in the County of Chester, personally appeared Dana Petrizio and that he/she, being authorized to do so, executed the foregoing instrument for the purposes therein contained by signing his/her name as such person or officer.

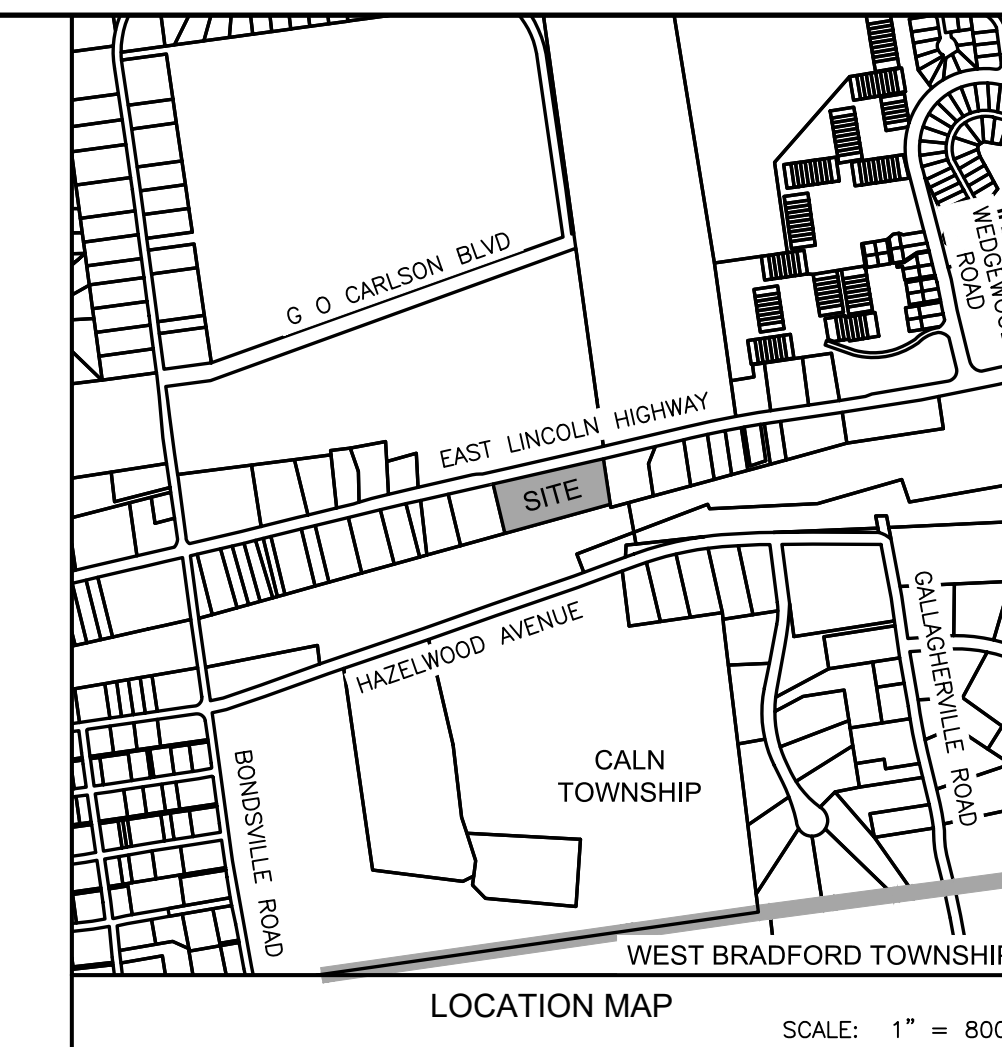
IN WITNESS WHEREOF, I have hereunto set my hand and official seal.

[Signature]
Notary Public

Commonwealth of Pennsylvania - Notary Seal
Crystal L. Peterson, Notary Public
Chester County
My commission expires September 3, 2023
Commission number 1128362
Member, Pennsylvania Association of Notaries

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PRELIMINARY / FINAL LAND DEVELOPMENT PLANS 4000 LINCOLN HIGHWAY CALN TOWNSHIP * CHESTER COUNTY * PENNSYLVANIA



CONDITIONAL USE ORDER AND APPROVAL

IN RE: CONDITIONAL USE APPLICATION OF DANA PETRIZIO FOR FARMHOUSE COFFEE AND ESPRESSO BAR AT 4000 LINCOLN HIGHWAY

BEFORE THE CALN TOWNSHIP BOARD OF COMMISSIONERS

DECISION AND ORDER

DANA PETRIZIO (THE "APPLICANT"), FILED A CONDITIONAL USE APPLICATION ON DECEMBER 8, 2022 (THE "APPLICATION") SEEKING CONDITIONAL USE APPROVAL FROM THE BOARD OF COMMISSIONERS OF CALN TOWNSHIP (THE "BOARD") PURSUANT TO SECTION 155-26.C(9) OF THE CALN TOWNSHIP ZONING ORDINANCE OF 2005, AS AMENDED (THE "ORDINANCE") TO DEVELOP THE PROPERTY LOCATED AT 4000 LINCOLN HIGHWAY WITH AN APPROXIMATELY 5,449-SQUARE FOOT RESTAURANT BUILDING WITH COMMERCIAL DRIVE THROUGH, THE BUILDING AND DRIVE THROUGH WOULD BE USED AS A RESTAURANT KNOWN AS "THE FARMHOUSE COFFEE AND ESPRESSO BAR". APPLICANT AND HER HUSBAND ARE MEMBERS OF DPP2022 PROPERTIES LLC, A PENNSYLVANIA LIMITED LIABILITY COMPANY THAT WAS FORMED FOR THE PURPOSES OF OWNING THE PROPERTY.

THE BOARD CONDUCTED A PUBLIC HEARING ON APRIL 27, 2023 AFTER ADVERTISING THE HEARING IN THE DAILY LOCAL NEWS ON APRIL 12, 2023 AND APRIL 19, 2023. SEE EXHIBIT B-2. THE TOWNSHIP POSTED THE PROPERTY ON APRIL 12, 2023. SEE EXHIBIT B-3.

THE EVIDENTIARY RECORD WAS CLOSED ON APRIL 27, 2023 AND THE BOARD THEREAFTER MET AT A DULY ADVERTISED PUBLIC MEETING ON MAY 25, 2023 AND VOTED TO APPROVE THIS DECISION AND ORDER.

AT THE HEARING, THE TOWNSHIP WAS REPRESENTED BY ITS SOLICITOR, KRISTIN S. CAMP, ESQUIRE AND APPLICANT WAS REPRESENTED BY PATRICK M. MCKENNA, ESQUIRE. THERE WERE NO INDIVIDUALS WHO REQUESTED PARTY STATUS.

FROM THE TESTIMONY AND EXHIBITS PRESENTED AT THE HEARING, THE BOARD MAKES THE FOLLOWING FINDINGS OF FACT - SEE DECISION AND ORDER FOR COMPLETE TEXT.

CONCLUSION OF LAW - SEE DECISION AND ORDER FOR COMPLETE TEXT.

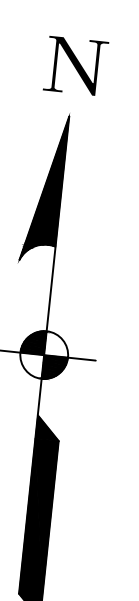
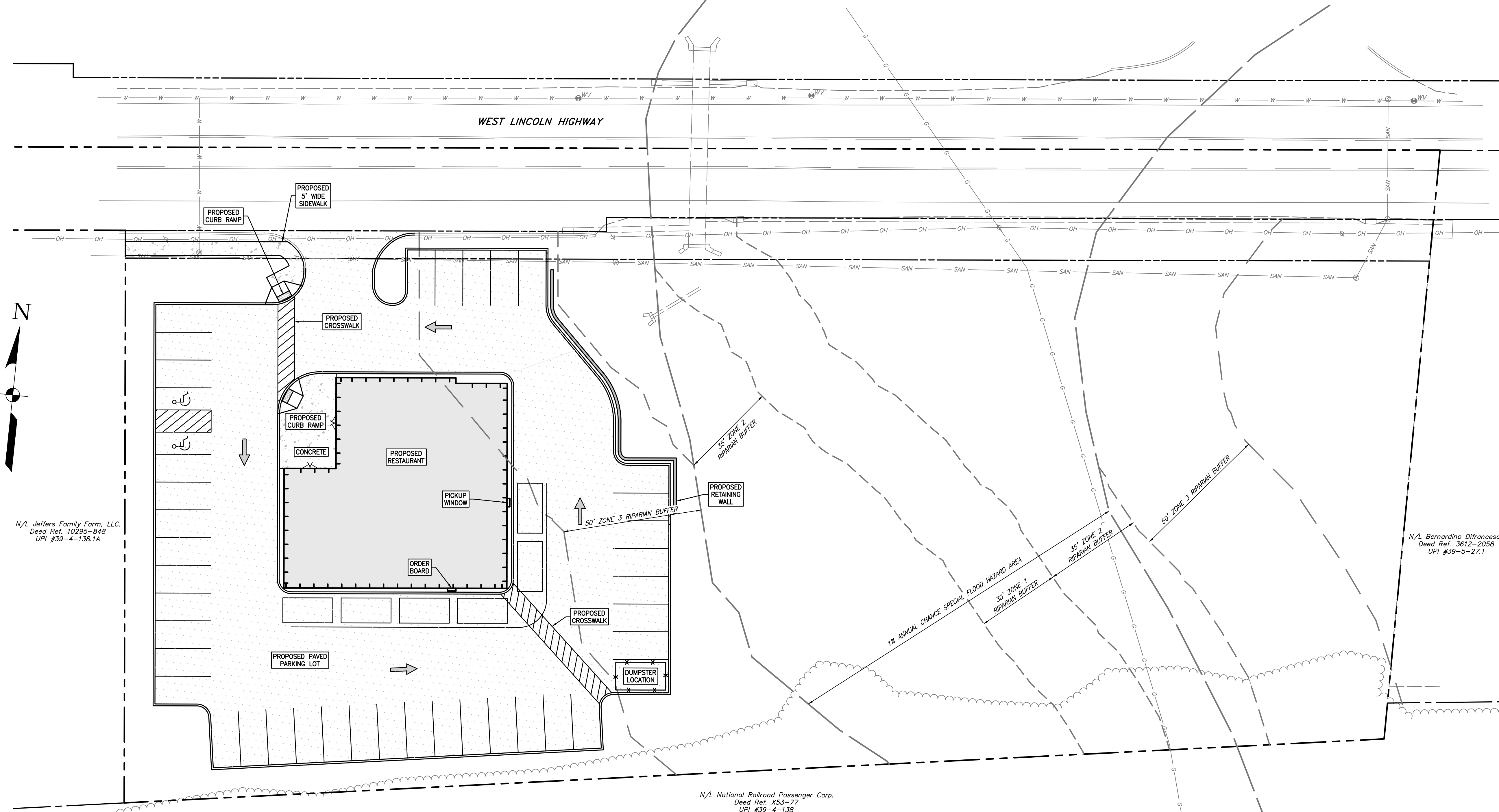
DISCUSSION - SEE DECISION AND ORDER FOR COMPLETE TEXT.

ORDER

AND NOW, THIS 25TH DAY OF MAY, 2023, THE BOARD APPROVES A CONDITIONAL USE PURSUANT TO SECTION 155-26.C(9) OF THE ORDINANCE TO ALLOW THE PROPERTY TO BE DEVELOPED WITH A RESTAURANT WITH COMMERCIAL DRIVE THROUGH SUBJECT TO THE CONDITIONS SET FORTH HEREINBELOW.

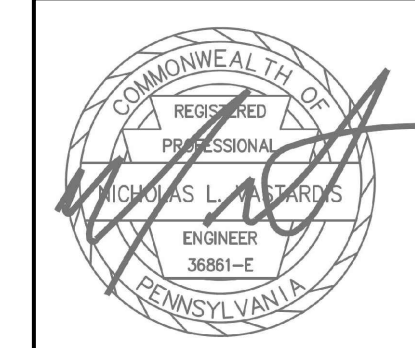
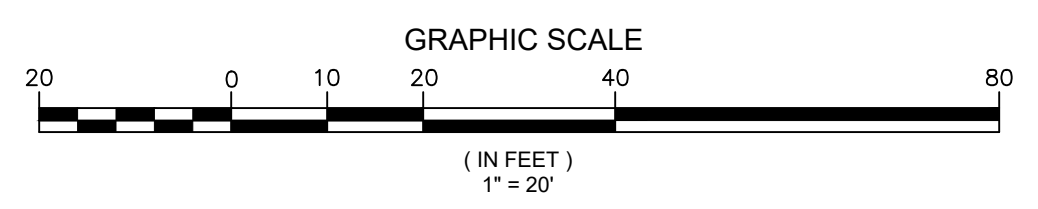
CONDITIONS OF APPROVAL

- THE COMMERCIAL DRIVE THROUGH SHALL BE DEVELOPED IN ACCORDANCE WITH THE TESTIMONY AND EVIDENCE PRESENTED AT THE CONDITIONAL USE HEARING AND THE PLAN, AS SUCH PLAN IS FURTHER REVISED TO COMPLY WITH THE CONDITIONS OF APPROVAL IMPOSED HEREIN AND TO OBTAIN FINAL LAND DEVELOPMENT APPROVAL FROM THE BOARD.
- THE PLAN SHALL BE REVISED TO COMPLY WITH ALL OUTSTANDING COMMENTS FROM THE FOLLOWING TOWNSHIP CONSULTANTS' REVIEW LETTERS:
 - LETTER DATED MARCH 29, 2023 FROM PENNCON;
 - LETTER DATED JANUARY 10, 2023 FROM ARRO;
 APPLICANT SHALL DEMONSTRATE COMPLIANCE WITH THESE LETTERS TO THE SATISFACTION OF THE RESPECTIVE TOWNSHIP CONSULTANT PRIOR TO ISSUANCE OF FINAL LAND DEVELOPMENT APPROVAL FROM THE BOARD.
- APPLICANT SHALL OBTAIN ALL NECESSARY PERMITS FROM THE TOWNSHIP AND ALL APPLICABLE GOVERNMENTAL AGENCIES IN ORDER TO DEVELOP THE PROPERTY WITH THE COMMERCIAL DRIVE THROUGH IN ACCORDANCE WITH THE PLAN, INCLUDING BUT NOT LIMITED TO AN NPDES PERMIT, PLANNING MODULE APPROVAL OR AN EXEMPTION FROM SAME AND APPROVAL FROM THE CTMA FOR THE PROPOSED SEWAGE CONNECTION.
- IF APPLICANT ENCOUNTERS CARBONATE ROCK OR SINKHOLES DURING SITE DEVELOPMENT EXCAVATION ACTIVITIES, SHE SHALL ADHERE TO THE RECOMMENDATIONS DESCRIBED IN THE REPORT DATED MARCH 16, 2023 TITLE CARBONATE ASSESSMENT / KARST INVESTIGATION WHICH RECOMMENDED THAT ANY CARBONATE ROCK INTERFACE BE CLEARED TO EXPOSE ALL POTENTIAL THROAT OPENINGS AND THEN THE AREA SHOULD BE FLUSHED AND CAPPED WITH FLOWABLE CONCRETE FILL.
- APPLICANT SHALL INSTALL A SIDEWALK ALONG W. LINCOLN HIGHWAY IN THE LOCATION DEPICTED ON THE PLAN ADMITTED AS EXHIBIT A-3. THE SPECIFICATIONS FOR THE SIDEWALK SHALL BE APPROVED BY THE BOARD DURING LAND DEVELOPMENT BUT APPLICANT SHALL BE REQUIRED TO INSTALL BRICK INLAY SIMILAR TO THE SIDEWALK THAT WAS RECENTLY INSTALLED ALONG LINCOLN HIGHWAY IN FRONT OF THE CAMPUS. APPLICANT SHALL ALSO GRANT TO THE TOWNSHIP AND/OR PENNDOT THE NECESSARY EASEMENT TO ALLOW A FUTURE EXTENSION OF THE SIDEWALK ALONG THE ENTIRE PROPERTY FRONTAGE ON W. LINCOLN HIGHWAY. THE LOCATION AND DIMENSION OF THE SIDEWALK EASEMENT SHALL BE APPROVED BY THE BOARD AS PART OF LAND DEVELOPMENT. IF APPLICANT OR HER SUCCESSOR IN TITLE TO THE PROPERTY DEVELOPS THE EASTERN PORTION OF THE PROPERTY IN THE FUTURE, SHE OR HER SUCCESSOR IN TITLE TO THE PROPERTY SHALL BE REQUIRED TO INSTALL SIDEWALK ALONG THE ENTIRE PROPERTY FRONTAGE ON W. LINCOLN HIGHWAY.
- APPLICANT SHALL PROVIDE ENERGY EFFICIENT LIGHTING FIXTURES THAT MEET THE ILLUMINATING ENGINEERING SOCIETY ILLUMINATION STANDARDS FOR COMMERCIAL USES AND ORDINANCES REQUIREMENTS. THE IES STANDARD IN EFFECT AT THE TIME OF FINAL PLAN APPROVAL SHALL APPLY.
- APPLICANT SHALL CONNECT THE NEW BUILDING TO PUBLIC SEWER AND COMPLY WITH ALL REQUIREMENTS OF THE CTMA AND PAY ALL APPLICABLE FEES FOR ADDITIONAL SEWER CAPACITY AND SEWER CONNECTION.
- APPLICANT SHALL OFFER ADDITIONAL RIGHT OF WAY OR AN EASEMENT TO PENNDOT OR THE TOWNSHIP ALONG THE SOUTHERN SIDE OF W. LINCOLN HIGHWAY IN WIDTH APPROVED BY THE TOWNSHIP ENGINEER AND BOARD AS PART OF LAND DEVELOPMENT.
- APPLICANT AND ITS SUCCESSORS AND ASSIGNS IN INTEREST TO THE PROPERTY SHALL BE STRICTLY BOUND BY:
 - ALL THE REPRESENTATIONS, WARRANTIES AND COMMITMENTS MADE BY OR ON BEHALF OF THE APPLICANT AND THE TESTIMONY, PLANS OR OTHER EXHIBITS THAT WERE INTRODUCED INTO THE RECORD ON THESE PROCEEDINGS WHETHER OR NOT EXPRESS REFERENCE IS MADE TO SAID REPRESENTATIONS, WARRANTIES AND COMMITMENTS IN THIS DECISION; AND
 - ALL OF THE FOREGOING CONDITIONS OF APPROVAL.



SHEET INDEX	
SHEET TITLE	SHEET NO. (OF 8)
COVER SHEET	1
SITE IMPROVEMENTS PLAN	2
EXISTING FEATURES AND DEMOLITION PLAN	3
STORMWATER MANAGEMENT (SWM) SITE PLAN	4
EROSION AND SEDIMENTATION CONTROL PLAN	5
EROSION AND SEDIMENTATION CONTROL NOTES AND DETAILS	6
LANDSCAPE AND LIGHTING PLAN	7
NOTES AND DETAILS	8-11
SHEETS 1 THROUGH 4 SHALL BE RECORDED	

LEGEND	
	PROPERTY BOUNDARY
	ADJOINER BOUNDARY
	EXISTING ROAD RIGHT-OF-WAY
	PROPOSED EASEMENT
	EXISTING CURB
	EXISTING EDGE OF PAVING
	EXISTING FENCE
	EXISTING TREE LINE
	EXISTING AERIAL UTILITY WIRES
	EXISTING SANITARY SEWER MAIN
	EXISTING WATER MAIN
	EXISTING UNDERGROUND GAS PIPELINE
	PROPOSED CURB
	PROPOSED EDGE OF GRAVEL
	PROPOSED FENCE



1	12/7/2023	REVISED PER TOWNSHIP REVIEW LETTERS
NUM.	DATE	REVISION
 29 Harvey Lane Malvern, PA 19355 Ph: 610.644.9663 Fx: 610.644.3789 Email: vceff@vstardis.net		
PLAN PREPARED FOR:		
DPP2022 PROPERTIES LLC 4000 WEST LINCOLN HIGHWAY CALN TOWNSHIP * CHESTER COUNTY * PENNSYLVANIA		
DRAWN BY:	III	
CHECKED BY:	NV	
DATE:	6/30/2023	
SCALE:	1" = 20'	
PRELIMINARY / FINAL COVER SHEET		
SHEET 1 of 11		

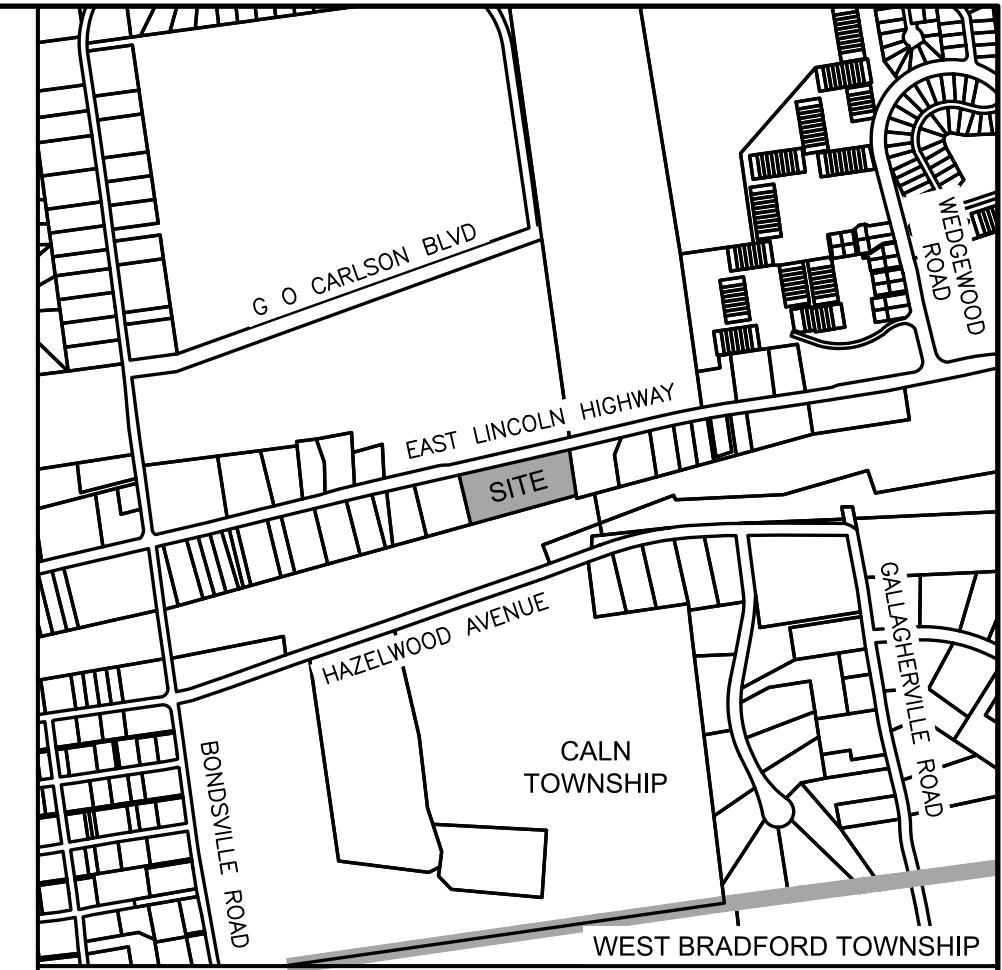
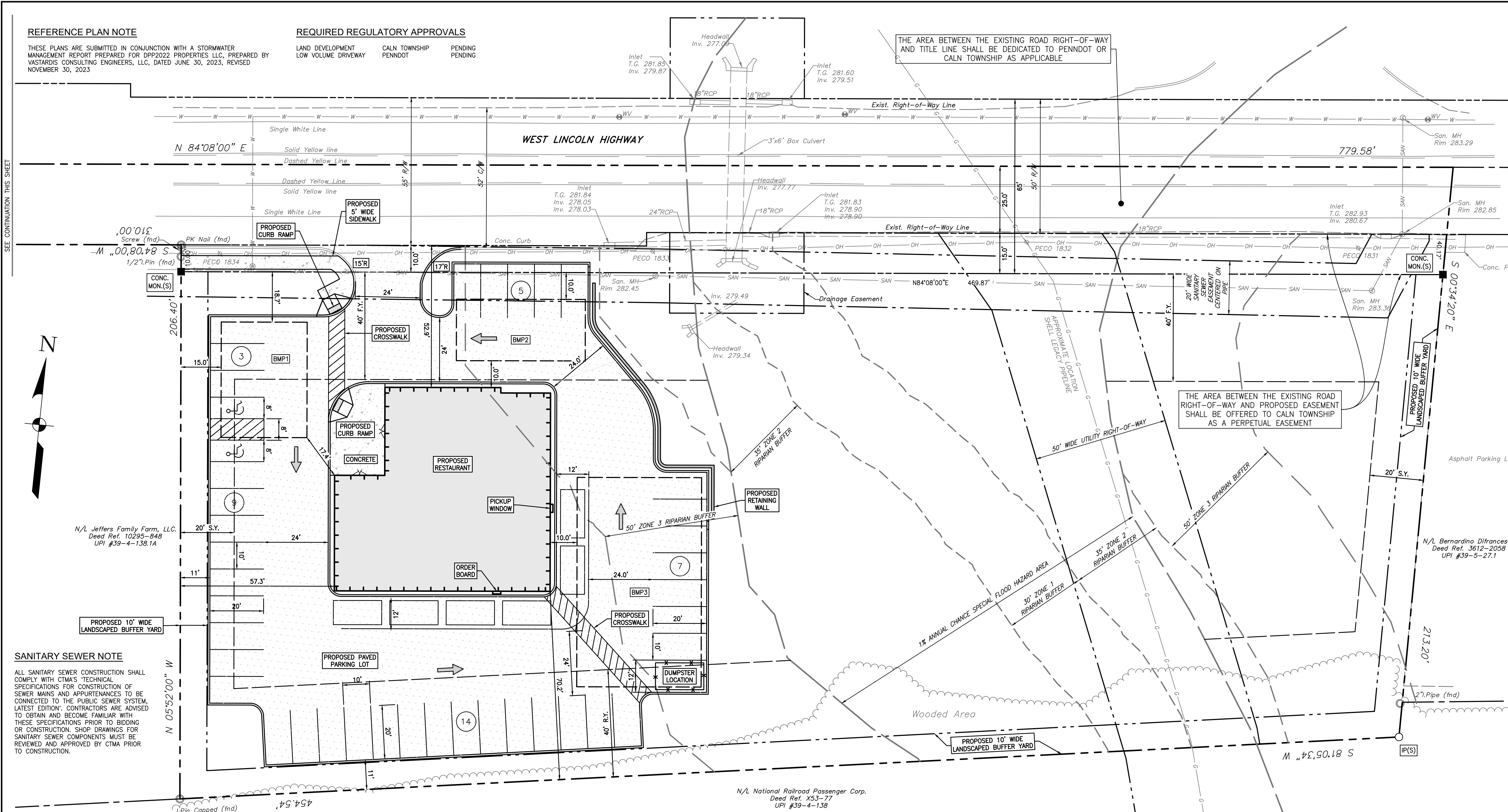
REFERENCE PLAN NOTE

THESE PLANS ARE SUBMITTED IN CONJUNCTION WITH A STORMWATER MANAGEMENT REPORT PREPARED FOR DPP2022 PROPERTIES LLC, PREPARED BY VASTARDIS CONSULTING ENGINEERS, LLC, DATED JUNE 30, 2023, REVISED NOVEMBER 30, 2023

REQUIRED REGULATORY APPROVALS

LAND DEVELOPMENT CALN TOWNSHIP PENDING
 LOW VOLUME DRIVEWAY PENNDOT PENDING

THE AREA BETWEEN THE EXISTING ROAD RIGHT-OF-WAY AND TITLE LINE SHALL BE DEDICATED TO PENNDOT OR CALN TOWNSHIP AS APPLICABLE



LOCATION MAP SCALE: 1" = 800'

COMMONWEALTH OF PENNSYLVANIA,
 COUNTY OF CHESTER
 ON THIS _____ DAY OF _____ A.D. 2022,
 BEFORE ME, THE SUBSCRIBER, A NOTARY PUBLIC OF THE COMMONWEALTH OF PENNSYLVANIA, RESIDING IN _____
 PERSONALLY APPEARED _____ WHO
 BEING DULY SWORN ACCORDING TO LAW, DEPOSES AND SAYS THAT THEY ARE THE OWNERS AND/OR EQUITABLE OWNERS OF THE PROPERTY SHOWN ON THIS PLAN, AND THAT THEY ACKNOWLEDGE THE SAME TO BE THEIR ACT AND PLAN AND DESIRES THE SAME TO BE RECORDED AS SUCH ACCORDING TO LAW.

NOTARY PUBLIC: _____
 MY COMMISSION EXPIRES: _____
 SIGNATURE _____

CALN TOWNSHIP ENGINEER CERTIFICATE
 REVIEWED BY THE TOWNSHIP ENGINEER OF CALN TOWNSHIP,
 THIS _____ DAY _____, 2023

 TOWNSHIP ENGINEER

CALN TOWNSHIP BOARD OF COMMISSIONERS CERTIFICATION
 APPROVED BY RESOLUTION OF THE BOARD OF COMMISSIONERS OF CALN TOWNSHIP
 THIS _____ DAY _____, 2023

 PRESIDENT

 MEMBER

 MEMBER

CHESTER COUNTY PLANNING COMMISSION
 AT A MEETING HELD ON THE _____ DAY OF _____
 THE CHESTER COUNTY PLANNING COMMISSION APPROVED THE FINAL PLAN, AS SHOWN AND DESCRIBED HEREON.

 (SECRETARY) DATE _____

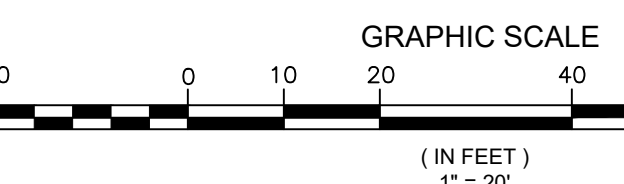
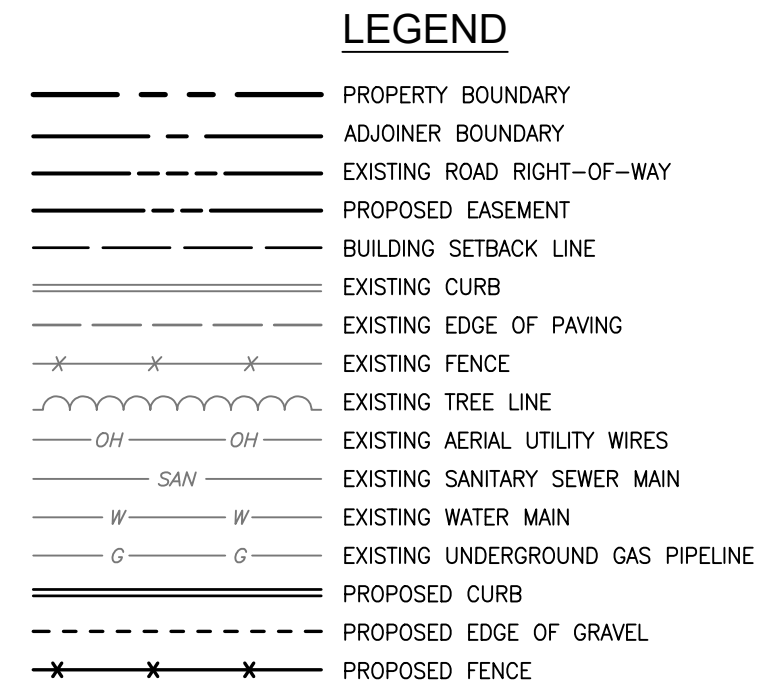
CHESTER COUNTY RECORDER OF DEEDS
 RECORDED THIS _____ DAY OF _____, IN THE
 OFFICE FOR THE RECORDING OF DEEDS FOR THE COUNTY OF CHESTER IN WEST CHESTER, PENNSYLVANIA
 IN PLAN BOOK NO. _____, PAGE _____

SANITARY SEWER NOTE

ALL SANITARY SEWER CONSTRUCTION SHALL COMPLY WITH CTMA'S "TECHNICAL SPECIFICATIONS FOR CONSTRUCTION OF SEWER MAINS AND APPURTENANCES TO BE CONNECTED TO THE PUBLIC SEWER SYSTEM, LATEST EDITION". CONTRACTORS ARE ADVISED TO OBTAIN AND BECOME FAMILIAR WITH THESE SPECIFICATIONS PRIOR TO BIDDING OR CONSTRUCTION. SHOP DRAWINGS FOR SANITARY SEWER COMPONENTS MUST BE REVIEWED AND APPROVED BY CTMA PRIOR TO CONSTRUCTION.

PARKING SPACE REQUIREMENTS

REQUIREMENT	REQUIRED	PROVIDED
1 SPACE PER 3 SEATS FOR RESTAURANT	96 SEATS / 33 SPACES	33 SPACES
TOTAL PROVIDED:		38 SPACES



SITE IMPROVEMENTS PLAN NOTES

- IF CARBONATE ROCK OR SINKHOLES ARE ENCOUNTERED DURING SITE DEVELOPMENT EXCAVATION ACTIVITIES, THE RECOMMENDATIONS DESCRIBED IN THE REPORT DATED MARCH 16, 2023, TITLED "CARBONATE ASSESSMENT / KARST INVESTIGATION" WHICH RECOMMENDED THAT ANY CARBONATE ROCK INTERFACE BE CLEARED TO EXPOSE ALL POTENTIAL THROAT OPENINGS AND THEN THE AREA BE FLUSHED AND CAPPED WITH FLOWABLE CONCRETE FILL.
- THE EXTERIOR ORDER BOARD SHALL BE EQUIPPED WITH AN EXTERIOR SPEAKER AND MICROPHONE WHICH SHALL BE DESIGNED IN A MANNER SO THE MESSAGES, MUSIC OR OTHER AUDIBLE SOUNDS ARE REDUCED BY 80% FROM THE SOURCE TO ANY PROPERTY LINE.
- A KNOX BOX SHALL BE INSTALLED IN ACCORDANCE WITH ORDINANCE SECTION 137-47.F(2).
- ALL CONNECTIONS FOR HYDRANTS AND FIRE SUPPRESSION SYSTEMS SHALL COMPLY WITH ORDINANCE SECTION 137-47.F.
- NO ELECTRIC VEHICLE CHARGING STATIONS ARE PROPOSED.

ZONING DATA

ZONING DISTRICT: TV-1 - THORNDALE VILLAGE DISTRICT COMMERCIAL DRIVE-THROUGH ESTABLISHMENT

	REQUIRED	EXISTING	PROPOSED
LOT AREA	50,000 S.F. (MIN.)	91,242 S.F. (2,095 ACRES)	91,242 S.F. (2,095 ACRES)
LOT WIDTH	200' (MIN.)	469'	469'
BUILDING SETBACKS			
FRONT YARD	40' (MIN.)	N/A	52.9'
SIDE YARD	20' (MIN.)	N/A	57.3'
REAR YARD	40' (MIN.)	N/A	70.2'
BUILDING COVERAGE	40% (MAX.)	0% (0 S.F.)	8.0% (5,445 S.F.)
LOT COVERAGE	70% (MAX.)	13.5% (12,294 S.F.)	33.6% (30,665 S.F.)
PRINCIPAL BUILDING HEIGHT	35' (MIN.)	N/A	< 35'

REFER TO CALN TOWNSHIP ZONING ORDINANCE FOR ANY ADDITIONAL REGULATIONS THAT MAY APPLY.

LOT AREA CALCULATIONS

GROSS LOT AREA	113,155 S.F.	2,598 ACRES
LESS ANY AND ALL FUTURE/ULTIMATE STREET RIGHTS-OF-WAY AND COMMON OPEN SPACE	21,913 S.F.	0.503 ACRES
NET LOT AREA	91,242 S.F.	2,095 ACRES

AS-BUILT PLAN NOTE

THE APPLICANT SHALL PROVIDE TO THE MUNICIPALITY FINAL AS-BUILT PLANS (SIGNED AND SEALED BY A QUALIFIED LICENSED PROFESSIONAL) OF ALL BMPS, CONVEYANCES, OTHER STORMWATER FACILITIES, AND RELATED IMPROVEMENTS SHOWN IN THE FINAL APPROVED SWM SITE PLAN IN ACCORDANCE WITH THE REQUIREMENTS OF ORDINANCE SECTION 135-50.2.

IMPERVIOUS SURFACE SUMMARY

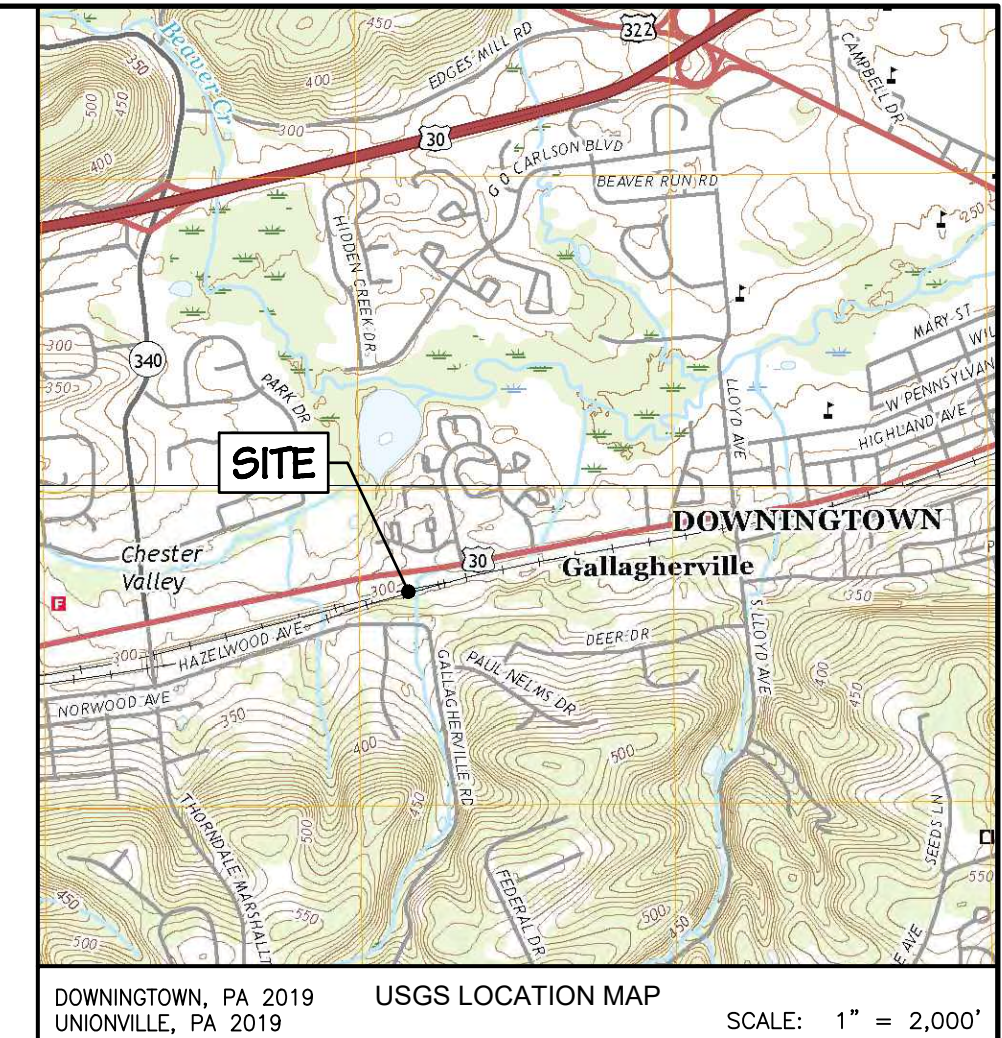
	EXISTING	PROPOSED
BUILDING	0 S.F.	5,445 S.F.
PAVING	10,704 S.F.	22,785 S.F.
OTHER	1,590 S.F.	2,435 S.F.
TOTAL	12,294 S.F.	30,665 S.F.

WAIVER REQUESTS

SECTION 137-9--TO PERMIT A COMBINED PRELIMINARY/FINAL PLAN
 SECTION 135-311.C--TO PERMIT STORM PIPES LESS THAN 18"
 SECTION 155-306.1.2--PERMIT AN INFILTRATION FACILITY CLOSER THAN 15' TO AN EASEMENT AREA

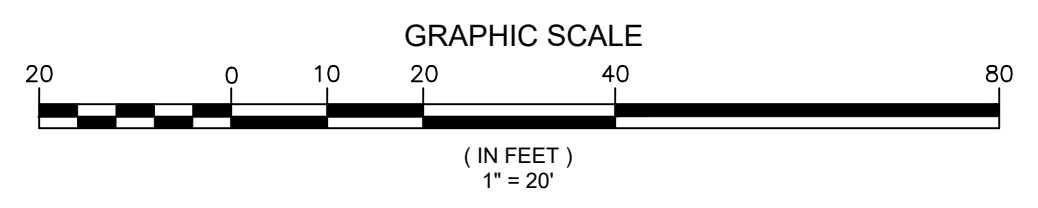
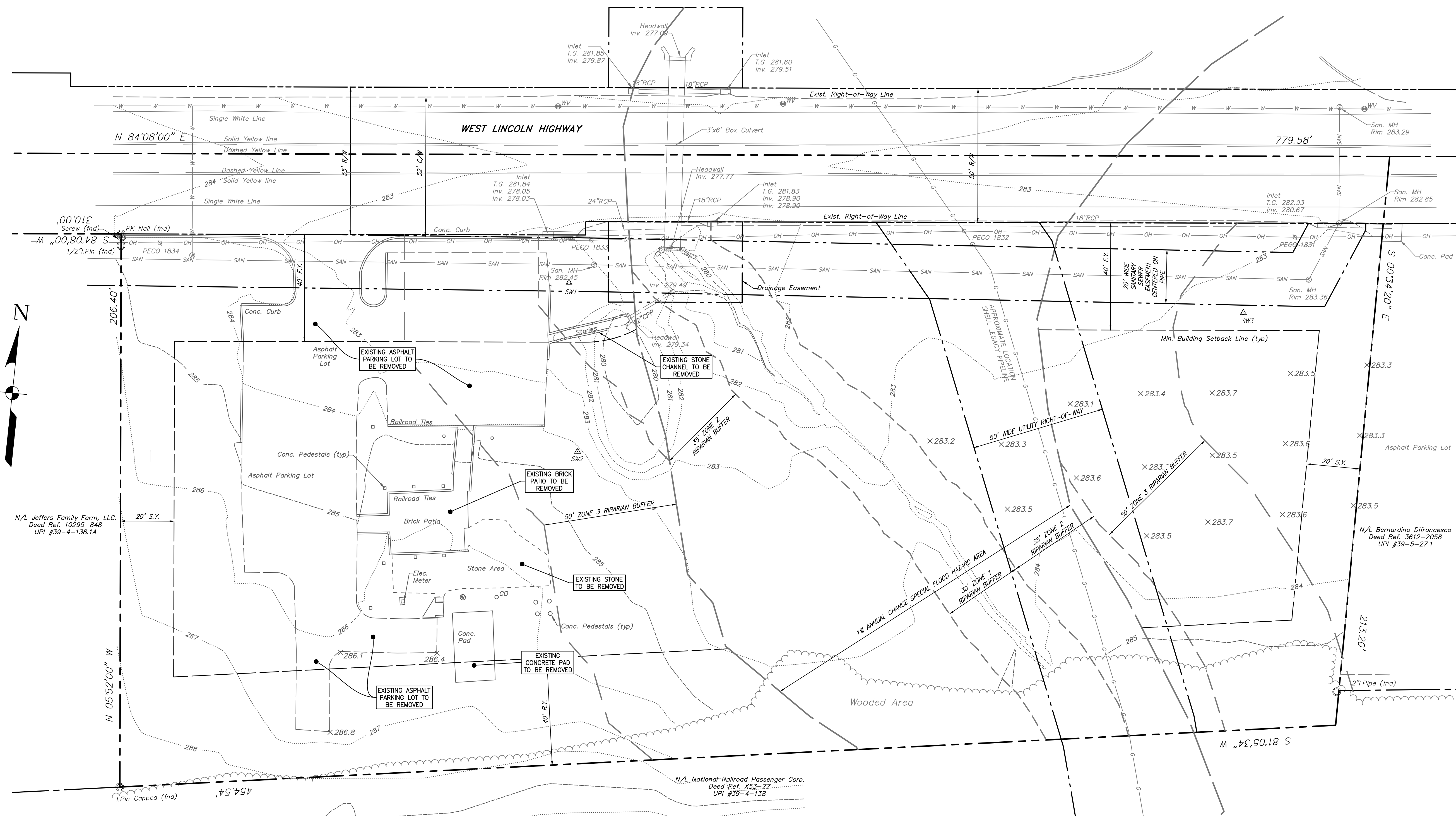


1	12/7/2023	REVISED PER TOWNSHIP REVIEW LETTERS
NUM.	DATE	REVISION
 29 Harvey Lane Malvern, PA 19355 Ph: 610.644.9663 F: 610.644.3789 Email: vce@vce.com PLAN PREPARED FOR:		
DPP2022 PROPERTIES LLC 4000 WEST LINCOLN HIGHWAY CALN TOWNSHIP • CHESTER COUNTY • PENNSYLVANIA		DRAWN BY: III CHECKED BY: NV DATE: 6/30/2023 SCALE: 1" = 20'
PRELIMINARY / FINAL SHEET 2 of 11 SITE IMPROVEMENTS PLAN		



GENERAL NOTES

- REFERENCE PLAN
A. EXISTING FEATURES PLAN FOR 4000 LINCOLN HIGHWAY, PREPARED FOR VASTARDIS CONSULTING ENGINEERS, LLC, PREPARED BY BIBER LAND SURVEYING COMPANY, LLC, DATED 8/15/2022, JOB NO. 22094.
- PLAN NOTE
PROPERTY BOUNDARY, EXISTING FEATURES AND TOPOGRAPHY PER REFERENCE PLAN. NO SURVEY WORK WAS PREPARED BY THIS OFFICE.
- OWNER / APPLICANT
DPP2022 PROPERTIES
1479 WEST STONINGTON DRIVE
DOWNTOWN, PA 19335
- SITE ADDRESS
4000 LINCOLN HIGHWAY DOWNTOWN, PA 19335
- SOURCE OF TITLE
DEED REFERENCE: DB 10869, PG 155
UPI: 39-4-138.1
PIN: 3904 01380100
- SITE DATA
GROSS LOT AREA: 113,155 S.F. (2.598 ACRES) PER REFERENCE PLAN
NET LOT AREA: 91,242 S.F. (2.095 ACRES) PER REFERENCE PLAN
ERROR OF CLOSURE: 1 : 371810
- LAND USE
EXISTING LAND USE: COMMERCIAL
- SURVEY NOTES PER REFERENCE PLAN
A. PHYSICAL FEATURES SHOWN HEREON OBTAINED BY A FIELD SURVEY PERFORMED BY BIBER LAND SURVEYING COMPANY, LLC, COMPLETED ON AUGUST 8, 2022.
B. HORIZONTAL DATUM IS REFERENCED TO PENNSYLVANIA STATE PLANE COORDINATE SYSTEM SOUTH ZONE, NAD83. VERTICAL DATUM IS REFERENCED TO NAVD83. HORIZONTAL AND VERTICAL DATUM ESTABLISHED BY GPS OBSERVATION.
C. BOUNDARY LINE BEARINGS ARE REFERENCED TO THE DEED.
D. THIS PLAN WAS PREPARED WITHOUT THE BENEFIT OF A TITLE REPORT.
E. REFERENCE IS MADE TO A PLAN ENTITLED "FINAL LAND DEVELOPMENT SITE PLAN", PREPARED BY BOHLER ENGINEERING, INC., DATED 07/18/1994, LAST REVISED 12/08/1995 AND RECORDED IN CHESTER COUNTY RECORDER OF DEEDS OFFICE PLAN NO. 13275.
F. REFERENCE IS MADE TO A PLAN ENTITLED DRAWINGS FOR CONSTRUCTION OF LINCOLN HIGHWAY ENHANCEMENT PROJECT S.R. 3070 SECTION 1HE" PREPARED BY PENNSYLVANIA DEPARTMENT OF TRANSPORTATION, SHEET 55 & 56 OF 68, DATED 03/21/2008.
- UTILITIES
A. THE PROPOSED BUILDING WILL BE SERVICED BY PUBLIC WATER AND PUBLIC SEWER.
B. COMPLETENESS OR ACCURACY OF LOCATION AND DEPTH OF UNDERGROUND UTILITIES AND FACILITIES CANNOT BE GUARANTEED. THE CONTRACTOR MUST VERIFY THE LOCATION AND DEPTH OF ALL UNDERGROUND UTILITIES AND/OR FACILITIES PRIOR TO BEGINNING ANY EARTH-MOVING ACTIVITIES.
C. THERE ARE NO GUARANTEES THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA EITHER IN SERVICE OR ABANDONED. THERE ARE NO GUARANTEES THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION. THEREFORE, THIS OFFICE SHALL NOT BE RESPONSIBLE OR HELD LIABLE FOR ANY UTILITY NOT SHOWN OR SHOWN ON THE DRAWINGS IN A LOCATION OTHER THAN WHERE IT IS ACTUALLY DISCOVERED UPON EXCAVATION. THIS OFFICE HAS NOT PHYSICALLY EXCAVATED AND LOCATED ANY UNDERGROUND LINES.
- WETLANDS
THERE ARE NO KNOWN WETLANDS LOCATED WITHIN THE PROJECT AREA PER NATIONAL WETLAND INVENTORY MAPS.
- FLOODPLAIN
A. A PORTION OF THE SUBJECT PROPERTY LIES WITHIN THE 1% ANNUAL CHANCE SPECIAL FLOOD HAZARD AREA, ZONE A, NO BASE FLOOD ELEVATIONS DETERMINED. THE REMAINING PORTION OF THE PROJECT AREA IS LOCATED WITHIN ZONE X, AREA OF MINIMAL FLOOD HAZARD.
B. THE 1% ANNUAL CHANCE FLOOD SPECIAL FLOOD HAZARD AREA SHOWN HEREON IS PLOTTED FROM FEMA FLOOD INSURANCE RATE MAP NO. 42029C02060, EFFECTIVE DATE: 9/29/2017.
C. FLOOD HAZARD LINES ARE APPROXIMATE.
- RECEIVING STREAM
THE SITE IS LOCATED IN THE EAST BRANCH BRANDYWINE CREEK WATERSHED AND DRAINS TO UNT VALLEY RUN AND IS DESIGNATED AS COLD WATER FISHES (CWF) AND MIGRATORY FISHES (MF) BY PA CODE CHAPTER 93.
- TREES
THIS SURVEY IS NOT TO BE USED FOR TREE REMOVAL ALONG PROPERTY LINES. TREES LOCATIONS ARE APPROXIMATE. FOR TREE REMOVAL PURPOSES, PROPERTY LINES MUST BE FIELD MARKED WITH STAKES SET TO ESTABLISH EXACT TREE OWNERSHIP.
- PROJECT DESCRIPTION
THE APPLICANT PROPOSES TO DEMOLISH THE EXISTING SITE IMPROVEMENTS AND CONSTRUCT NEW RESTAURANT, PARKING AREAS AND UNDERGROUND SUBSURFACE INFILTRATION BEDS.
- THE EXISTING PARKING SPACES SHOWN ALONG WEST LINCOLN HIGHWAY ARE AN EXISTING NON-CONFORMITY IN ACCORDANCE WITH SECTION 155-160.



LEGEND

---	PROPERTY BOUNDARY
---	ADJOINER BOUNDARY
---	RIGHT-OF-WAY
---	EXISTING CURB
---	EXISTING EDGE OF PAVING
---	EXISTING FENCE
---	EXISTING 5' CONTOUR
---	EXISTING 1' CONTOUR
---	EXISTING TREE LINE
OH OH	EXISTING AERIAL UTILITY WIRES
SAN	EXISTING SANITARY SEWER MAIN
W W	EXISTING WATER MAIN
G G	EXISTING UNDERGROUND GAS PIPELINE

UTILITY	RESPONSE	NOTE
CALN TOWNSHIP (FQ1)	002 - CONFLICT	LINES NEARBY, DIRECT CONTACT TO FOLLOW BY FACILITY OWNER
COMCAST CABLE CHESTER COUNTY (JZ)	001 - CLEAR	NO FACILITIES OR FACILITIES NOT INVOLVED BASED ON TICKET INFORMATION
PECO AN EXELON COMPANY (KF)	083 - ENGINEERING COMPLETED	A PDF FILE OR MARKED UP LAN WERE SENT TO THE REQUESTOR
PENNSYLVANIA AMERICAN WATER (VA)	083 - ENGINEERING COMPLETED	A PDF FILE OR MARKED UP LAN WERE SENT TO THE REQUESTOR
SHALL LEGACY HOLDINGS LLC (TLJ)	002 - CONFLICT	LINES NEARBY, DIRECT CONTACT TO FOLLOW BY FACILITY OWNER
VERIZON PENNSYLVANIA LLC (YI)	002 - CONFLICT	LINES NEARBY, DIRECT CONTACT TO FOLLOW BY FACILITY OWNER

SOILS DESCRIPTIONS (WITHIN PROJECT AREA)						GEOLOGY DESCRIPTION (WITHIN PROJECT AREA)							
SYMBOL	DESCRIPTION	DEPTH TO RESTRICTIVE FEATURE	NATURAL DRAINAGE CLASS	DEPTH TO WATER TABLE	HYDROLOGIC SOIL GROUP	HYDRIC SOIL RATING	UNIT NO.	MAP SYMBOL	NAME	AGE	LITH1	LITH2	LITH3
UudB	URBAN LAND-UDORPTIONS, LIMESTONE COMPLEX 0-8% SLOPES	20-99" TO LITHIC BEDROCK	MODERATELY WELL DRAINED	ABOUT 6-24"	C/D	NO	143	Ce	ELBROOK FORMATION	CAMBRIAN	CALCAREOUS SHALE	SILTY LIMESTONE	LIMESTONE-DOLOMITE

SOILS INFORMATION TAKEN FROM UNITED STATES DEPARTMENT OF AGRICULTURE, NATURAL RESOURCE CONSERVATION SERVICE, WEB SOIL SURVEY.
GEOLOGY INFORMATION TAKEN FROM PENNSYLVANIA DEPARTMENT OF ENVIRONMENTAL PROTECTION, eMapPA

BEFORE YOU DIG ANYWHERE IN PENNSYLVANIA CALL 1-800-242-1776 NON-MEMBERS MUST BE CONTACTED DIRECTLY
PA ACT 172 (1986) REQUIRES THREE WORKING DAYS NOTICE TO UTILITIES BEFORE YOU EXCAVATE, DRILL, BLAST OR DEMOLISH.
OSHA 1926.651 SPECIAL EXCAVATION
REQUIREMENTS (A) PRIOR TO OPENING AN EXCAVATION, EFFORT SHALL BE MADE TO DETERMINE WHETHER UNDERGROUND INSTALLATIONS, I.E. SEWER, TELEPHONE, WATER, FUEL, ELECTRIC LINES, ETC. WILL BE ENCOUNTERED, AND IF SO, WHERE SUCH UNDERGROUND INSTALLATIONS ARE LOCATED. WHEN THE EXCAVATION APPROACHES THE ESTIMATED LOCATION OF SUCH AN INSTALLATION, THE EXACT LOCATION SHALL BE DETERMINED AND WHEN IT IS UNCOVERED, PROPER SUPPORTS SHALL BE PROVIDED FOR THE EXISTING INSTALLATION. UTILITY COMPANIES SHALL BE CONTACTED AND ADVISED OF PROPOSED WORK PRIOR TO THE START OF ACTUAL EXCAVATION.
OUTSIDE PENNA. OR IN THE PITTSBURGH AREA WE CAN ALSO BE REACHED AT 412-323-7100

PA ONE CALL SERIAL NO. 20230232563 UPI: 39-4-138.1

1	12/7/2023	REVISED PER TOWNSHIP REVIEW LETTERS
NUM.	DATE	REVISION

29 Harvey Lane | Malvern, PA 19355 | Ph: 610.644.9663 | Fx: 610.644.3789 | Email: vce@vce.com

PLAN PREPARED FOR:
DPP2022 PROPERTIES LLC
4000 WEST LINCOLN HIGHWAY
CALN TOWNSHIP • CHESTER COUNTY • PENNSYLVANIA

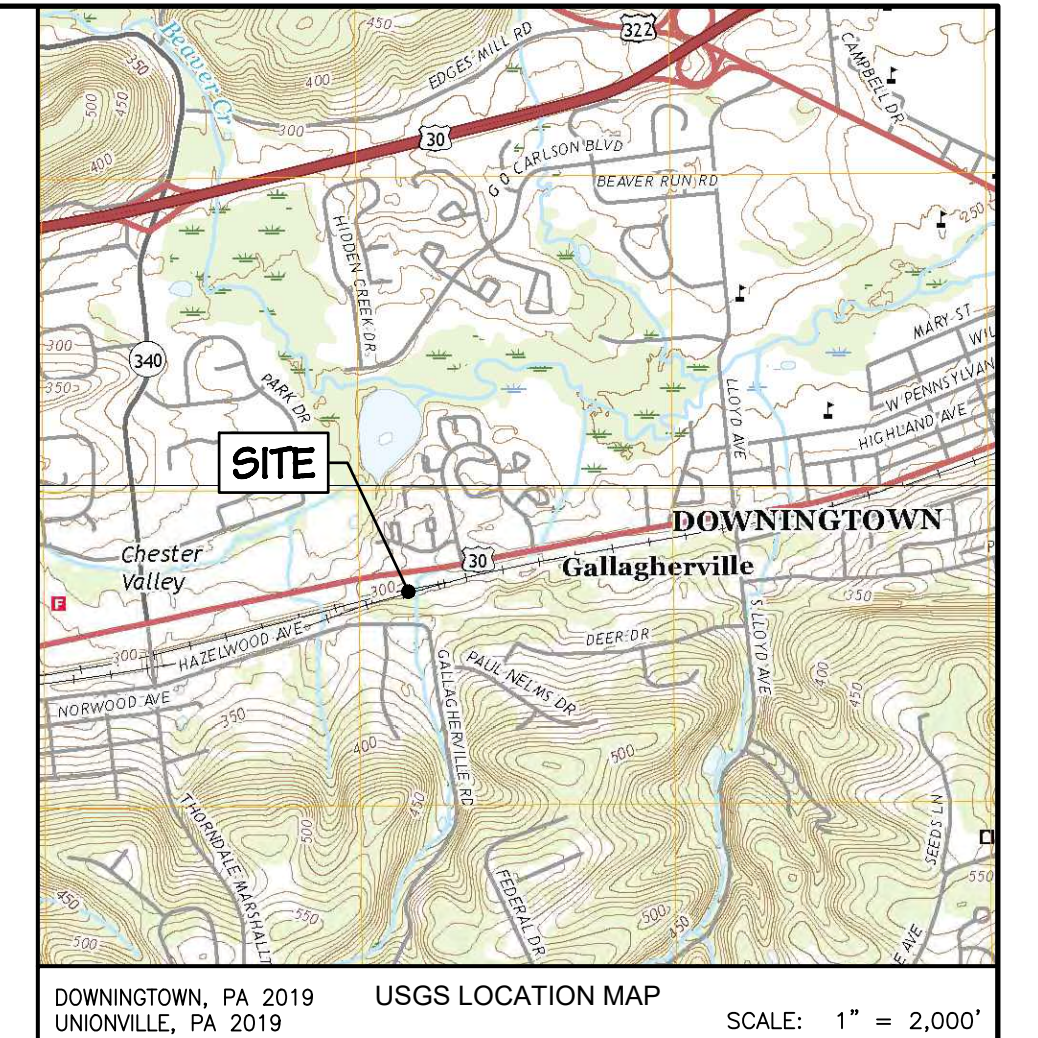
PRELIMINARY / FINAL

EXISTING FEATURES AND DEMOLITION PLAN

DRAWN BY	III
CHECKED BY	NV
DATE	6/30/2023
SCALE	1" = 20'

SHEET 3
of 11





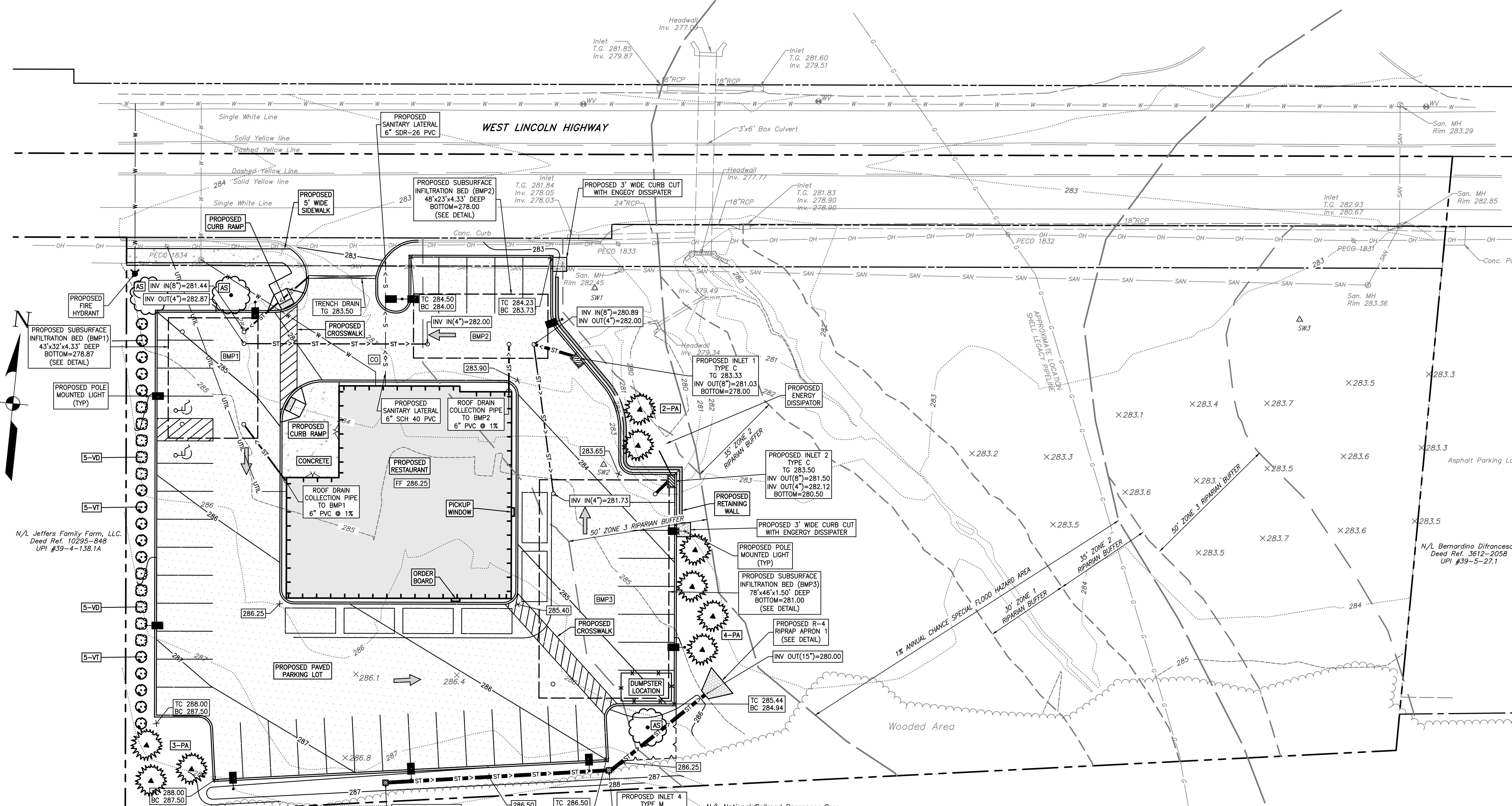
BMP OPERATIONS AND MAINTENANCE PROCEDURES

THE PROPERTY OWNER OR THEIR ASSIGNS SHALL BE RESPONSIBLE FOR THE PROPER CONSTRUCTION, INSPECTIONS, OPERATION, REPAIR AND MAINTENANCE OF THE POST CONSTRUCTION STORMWATER MANAGEMENT BMP. THE OPERATION AND MAINTENANCE REQUIREMENTS FOR THE PCSM BMP FOR THIS PROJECT INCLUDE THE FOLLOWING:

SUBSURFACE INFILTRATION BED (SWF)

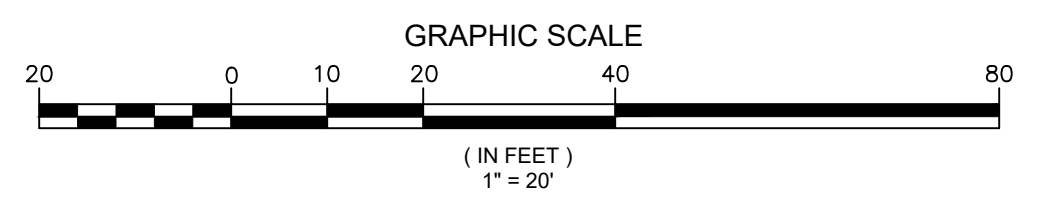
- INSPECTIONS SHOULD OCCUR AT LEAST 2 TIMES A YEAR AND AFTER STORM EVENTS OF ONE INCH OR MORE.
- YARD DRAINS SHALL BE INSPECTED AND CLEANED AT LEAST 2 TIMES PER YEAR.
- THE OVERLYING VEGETATION OF THE SWF SHOULD BE MAINTAINED IN GOOD CONDITION, AND ANY BARE SPOTS REVEGETATED AS SOON AS POSSIBLE.
- VEHICULAR ACCESS ON THE SWF SHOULD BE MINIMIZED, AND CARE SHOULD BE TAKEN TO AVOID EXCESSIVE COMPACTION BY MOWERS.
- IF THE SWF IS FOUND TO BE HOLDING WATER LONGER THAN THE 72 HOUR MAXIMUM, IT SHOULD BE PUMPED OUT AND THE PIPING CLEANED OF ANY DEBRIS. THE SOURCE OF SEDIMENT OR DEBRIS SHOULD BE ELIMINATED. IF THE SWF IS STILL FOUND TO BE HOLDING WATER, AN ENGINEER SHOULD BE RETAINED TO DETERMINE THE BEST AVENUE FOR REPAIR OR REPLACEMENT OF THE SWF.

- NOTES**
- ALL INSPECTIONS OF THE SWF SHALL BE PERFORMED BY THE APPOINTED REPRESENTATIVE OF THE OWNER.
 - THE PERSON RESPONSIBLE FOR THE OPERATION AND MAINTENANCE OF THE SWF SHALL MAKE RECORDS OF THE INSTALLATION AND OF ALL MAINTENANCE AND REPAIRS, AND SHALL RETAIN THE RECORDS FOR AT LEAST TEN (10) YEARS. THESE RECORDS SHALL BE SUBMITTED TO THE MUNICIPALITY, IF REQUESTED.
 - THE OWNER OF THE SWF SHALL KEEP ON FILE WITH THE MUNICIPALITY THE NAME, ADDRESS, AND THE TELEPHONE NUMBER OF THE PERSON RESPONSIBLE FOR MAINTENANCE ACTIVITIES AND IMPLEMENTATION OF THE O&M PLAN. IN THE EVENT OF A CHANGE, NEW INFORMATION SHALL BE SUBMITTED BY THE SWF OWNER TO THE MUNICIPALITY WITHIN THIRTY (30) WORKING DAYS OF THE CHANGE.
 - THE PROPERTY OWNER IS REQUIRED TO REMEDY ANY DEFICIENCY IDENTIFIED DURING THE INSPECTION PROCESS IN A REASONABLE TIME FRAME. IF A REASONABLE TIME FRAME IS NOT SPECIFIED BY THE INSPECTOR TO REMEDY THE DEFICIENCY, THEN THE TIME FRAME SHALL BE 30 DAYS DEPENDENT UPON WEATHER CONDITIONS. BASED UPON THE DEFICIENCY IDENTIFIED, THE TIME FRAME CAN BE LONGER OR SHORTER THAN 30 DAYS.
 - IF ANY DEFICIENT CONDITIONS ARE FOUND DURING THE INSPECTION A PLAN FOR ADDRESSING THEM SHALL BE PREPARED WITHIN 30 DAYS AND THE PLAN SHALL BE CARRIED OUT WITHIN 60 DAYS. THESE DURATIONS CAN BE EXTENDED BY MUNICIPALITY AND/OR THE DEPARTMENT AS REQUIRED, INCLUDING TIME OF YEAR AND SEVERITY OF THE DEFICIENCY.
 - UNTIL THE SITE IS STABILIZED AND DURING CONSTRUCTION ACTIVITIES, THE SWF MUST BE MAINTAINED PROPERLY BY THE CONTRACTOR. ALL PERMANENT MAINTENANCE PROCEDURES SHALL BE PERFORMED BY THE OWNER, HIS SUCCESSOR, OR ASSIGNS. THE OWNER IDENTIFY & CONTACT INFORMATION CAN BE FOUND AT THE BOTTOM OF THIS SHEET.
 - ANY SEDIMENT REMOVED FROM THE SWF SHALL BE REMOVED FROM THE SITE AND RECYCLED OR DISPOSED OF IN ACCORDANCE WITH THE DEPARTMENT'S SOLID WASTE MANAGEMENT REGULATIONS AT 25 PA. CODE 260.1 ET SEQ., 271.1, AND 287.1. NO SEDIMENT SHALL BE BURIED, DUMPED, OR DISCHARGED AT THE SITE.
 - ALL INSPECTIONS AND SWF REPAIR AND MAINTENANCE ACTIVITIES SHALL BE RECORDED IN THE FORM OF A WRITTEN REPORT WHICH DOCUMENTS EACH INSPECTION AND ALL SWF REPAIR AND MAINTENANCE ACTIVITIES AND HOW TO ACCESS THE PCSM SWF. THE INSPECTION REPORT SHALL CONTAIN THE DATE AND TIME OF THE INSPECTION, THE INDIVIDUAL(S) WHO COMPLETED THE INSPECTION, THE LOCATION OF THE BMP, STORMWATER MANAGEMENT FACILITY, OR STRUCTURE INSPECTION, OBSERVATIONS ON PERFORMANCE, AND RECOMMENDATIONS FOR IMPROVING PERFORMANCE.
 - THE PCSM PLAN, INSPECTION REPORTS, AND MONITORING RECORDS SHALL BE AVAILABLE FOR REVIEW AND INSPECTION BY THE MUNICIPALITY, DEPARTMENT OR CONSERVATION DISTRICT.
 - A BLANKET STORM DRAINAGE EASEMENT IS OFFERED ON THE SUBJECT PROPERTY GRANTING THE TOWNSHIP AND ITS REPRESENTATIVE THE RIGHT OF ENTRY AND ACCESS TO THE PROPERTY FOR INSPECTION AND ENFORCEMENT OF THE SWF. NOTHING SHALL BE PLACED, PLANTED, SET, OR PUT WITHIN THE AREA OF AN EASEMENT THAT WOULD ADVERSELY AFFECT THE FUNCTION OF THE EASEMENT OR CONFLICT WITH THE EASEMENT AGREEMENT.
 - THE LANDOWNER, SUCCESSOR AND ASSIGNS SHALL BE RESPONSIBLE FOR OWNERSHIP AND MAINTENANCE OF THE SWF IN GOOD WORKING ORDER IN ACCORDANCE WITH THE APPROVED OPERATION AND MAINTENANCE PLAN AND A RECORDED OPERATION AND MAINTENANCE AGREEMENT APPROVED BY THE TOWNSHIP.
 - SUMP PUMPS ARE NOT TO BE CONNECTED TO THE BMP(S) UNLESS ADDITIONAL CAPACITY IS PROVIDED IN THE BMP.
 - NO BMP OR MAN-MADE CONVEYANCE MAY BE USED BY THE OWNER OR OTHERS FOR ANY OTHER PURPOSE OTHER THAN ITS INTENDED STORMWATER CONTROL FUNCTION, OR, IF APPROVED BY THE TOWNSHIP ENGINEER, A STATEMENT OF SPECIFIC ALLOWABLE USES OF THE BMP.
 - NO PERSON SHALL MODIFY, REMOVE, FILL, LANDSCAPE, ALTER, OR IMPAIR THE EFFECTIVENESS OF ANY STORMWATER BMP(S), CONVEYANCES, FACILITIES, AREAS OR STRUCTURES, UNLESS THE ACTIVITY IS PART OF AN APPROVED MAINTENANCE PROGRAM, WITHOUT THE WRITTEN APPROVAL OF THE TOWNSHIP.
 - NO PERSON SHALL PLACE ANY STRUCTURE, FILL, LANDSCAPING, ADDITIONAL VEGETATION, YARD WASTE, BRUSH CUTTINGS, OR OTHER WASTE OR DEBRIS INTO A BMP OR CONVEYANCE, OR WITHIN A STORMWATER EASEMENT, THAT WOULD LIMIT OR ALTER THE FUNCTIONING OF THE STORMWATER BMP OR CONVEYANCE WITHOUT THE WRITTEN APPROVAL OF THE TOWNSHIP.



LEGEND

---	PROPERTY BOUNDARY
---	ADJOINER BOUNDARY
---	EXISTING ROAD RIGHT-OF-WAY
---	PROPOSED EASEMENT
---	BUILDING SETBACK LINE
---	EXISTING CURB
---	EXISTING EDGE OF PAVING
---	EXISTING FENCE
---	EXISTING 5' CONTOUR
---	EXISTING 1' CONTOUR
---	EXISTING TREE LINE
---	EXISTING AERIAL UTILITY WIRES
---	EXISTING SANITARY SEWER MAIN
---	EXISTING WATER MAIN
---	EXISTING UNDERGROUND GAS PIPELINE
---	PROPOSED CURB
---	PROPOSED EDGE OF GRAVEL
---	PROPOSED FENCE
---	PROPOSED 1' CONTOUR
---	PROPOSED 5' CONTOUR
---	PROPOSED STORM PIPE
---	PROPOSED SANITARY LATERAL
---	PROPOSED WATER LATERAL
---	PROPOSED UNDERGROUND UTILITIES (ELECTRIC, TELEPHONE, CABLE)
---	LIMIT OF DISTURBANCE



LANDSCAPE PLANTING SCHEDULE

SYMBOL	QUANTITY	BOTANICAL NAME	COMMON NAME	SIZE	REMARKS
AS	3	Acer saccharum	Sugar Maple	3" CALIPER (MIN.)	B&B
PA	7	Picea abies	Norway Spruce	6' HEIGHT (MIN.)	B&B
VD	10	Viburnum dentatum	Arrowwood viburnum	3' HEIGHT (MIN.)	B&B
VT	15	Viburnum trilobum	Highbush cranberry	3' HEIGHT (MIN.)	B&B

SANITARY SEWER NOTES

- ALL SANITARY SEWER CONSTRUCTION SHALL COMPLY WITH CTMA'S TECHNICAL SPECIFICATIONS FOR CONSTRUCTION OF SEWER MAINS AND APPURTENANCES TO BE CONNECTED TO THE PUBLIC SEWER SYSTEM, LATEST EDITION. CONTRACTORS ARE ADVISED TO OBTAIN AND BECOME FAMILIAR WITH THESE SPECIFICATIONS PRIOR TO BIDDING OR CONSTRUCTION. SHOP DRAWINGS FOR SANITARY SEWER COMPONENTS MUST BE REVIEWED AND APPROVED BY CTMA PRIOR TO CONSTRUCTION.
- TO AVOID IMPEDIMENTS TO FUTURE MAINTENANCE OF THE SANITARY SEWER SYSTEM, NO ELECTRIC, TELEPHONE, CABLE, OR OTHER UTILITY STRUCTURES SHALL BE PLACED IN ANY SANITARY SEWER EASEMENT, EXCEPT WHERE THESE FEATURES ARE INTENDED TO SERVE A SANITARY SEWER PUMP STATION AND ARE LOCATED SO THAT THEY DO NOT IMPED SEWER SYSTEM MAINTENANCE.

OWNER / APPLICANT

ANY REVISION TO THE APPROVED SWM PLAN SHALL BE SUBMITTED TO AND APPROVED BY THE MUNICIPALITY, AND THAT A REVISED EROSION AND SEDIMENTATION CONTROL PLAN SHALL BE SUBMITTED TO, AND APPROVED BY, THE CONSERVATION DISTRICT OR MUNICIPALITY (AS APPLICABLE) FOR A DETERMINATION OF ADEQUACY PRIOR TO CONSTRUCTION OF THE REVISED FEATURES.

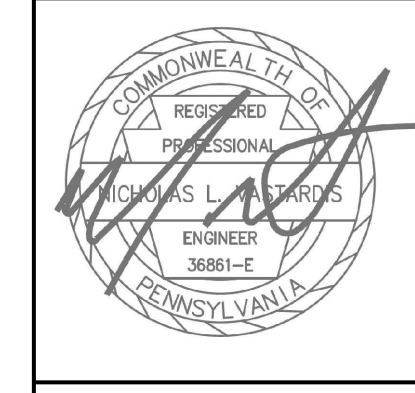
THE LANDOWNER ACKNOWLEDGES THAT, PER THE PROVISIONS OF THE MUNICIPALITY'S STORMWATER MANAGEMENT ORDINANCE, IT IS UNLAWFUL TO MODIFY, REMOVE, FILL, LANDSCAPE, ALTER, OR IMPAIR THE EFFECTIVENESS OF, OR PLACE ANY STRUCTURE, OTHER VEGETATION, YARD WASTE, BRUSH CUTTINGS, OR OTHER WASTE OR DEBRIS INTO ANY PERMANENT STORMWATER MANAGEMENT BMP OR CONVEYANCE DESCRIBED IN THE O&M PLAN OR TO ALLOW THE BMP OR CONVEYANCE TO EXIST IN A CONDITION WHICH DOES NOT CONFORM TO THIS O&M PLAN, WITHOUT WRITTEN APPROVAL FROM THE TOWNSHIP.

ENGINEER'S CERTIFICATION

I, NICHOLAS L. VASTARDIS, P.E., ON THIS DATE _____,

HEREBY CERTIFY TO THE BEST OF MY KNOWLEDGE THAT THE SWM SITE PLAN MEETS ALL DESIGN STANDARDS AND CRITERIA OF CALN TOWNSHIP STORMWATER MANAGEMENT ORDINANCE, ADOPTED ON DECEMBER 19, 2013.

SIGNATURE _____



1	12/7/2023	REVISED PER TOWNSHIP REVIEW LETTERS		
NUM.	DATE	REVISION		
<p>VASTARDIS CONSULTING ENGINEERS, LLC 29 Harvey Lane Malvern, PA 19355 Ph: 610.644.9663 Fx: 610.644.3789 Email: vce@vcen.com</p>			DRAWN BY	III
			CHECKED BY	NV
<p>PLAN PREPARED FOR:</p> <p>DPP2022 PROPERTIES LLC 4000 WEST LINCOLN HIGHWAY</p> <p>CALN TOWNSHIP • CHESTER COUNTY • PENNSYLVANIA</p>			DATE	6/30/2023
<p>PRELIMINARY / FINAL</p> <p>GRADING, UTILITY, LANDSCAPE AND STORMWATER MANAGEMENT (SWM) SITE PLAN</p>			SCALE	1" = 20'
				SHEET 4
				of 11

SOILS DESCRIPTIONS (WITHIN PROJECT AREA)

SYMBOL	DESCRIPTION	DEPTH TO RESTRICTIVE FEATURE	NATURAL DRAINAGE CLASS	DEPTH TO WATER TABLE	HYDROLOGIC SOIL GROUP	HYDRIC SOIL RATING
UudB	URBAN LAND-UDORTHERENTS, LIMESTONE COMPLEX 0-8% SLOPES	20-99" TO LITHIC BEDROCK	MODERATELY WELL DRAINED	ABOUT 6-24"	C/D	NO

SOILS INFORMATION TAKEN FROM UNITED STATES DEPARTMENT OF AGRICULTURE, NATURAL RESOURCE CONSERVATION SERVICE, WEB SOIL SURVEY.

GEOLOGY DESCRIPTION (WITHIN PROJECT AREA)

UNIT NO.	MAP SYMBOL	NAME	AGE	LITH1	LITH2	LITH3
143	Ce	ELBROOK FORMATION	CAMBRIAN	CALCAREOUS SHALE	SILTY LIMESTONE	LIMESTONE-DOLOMITE

GEOLOGY INFORMATION TAKEN FROM PENNSYLVANIA DEPARTMENT OF ENVIRONMENTAL PROTECTION, eMapPA

BEFORE YOU DIG ANYWHERE IN PENNSYLVANIA CALL 1-800-242-1776 NON-MEMBERS MUST BE CONTACTED DIRECTLY

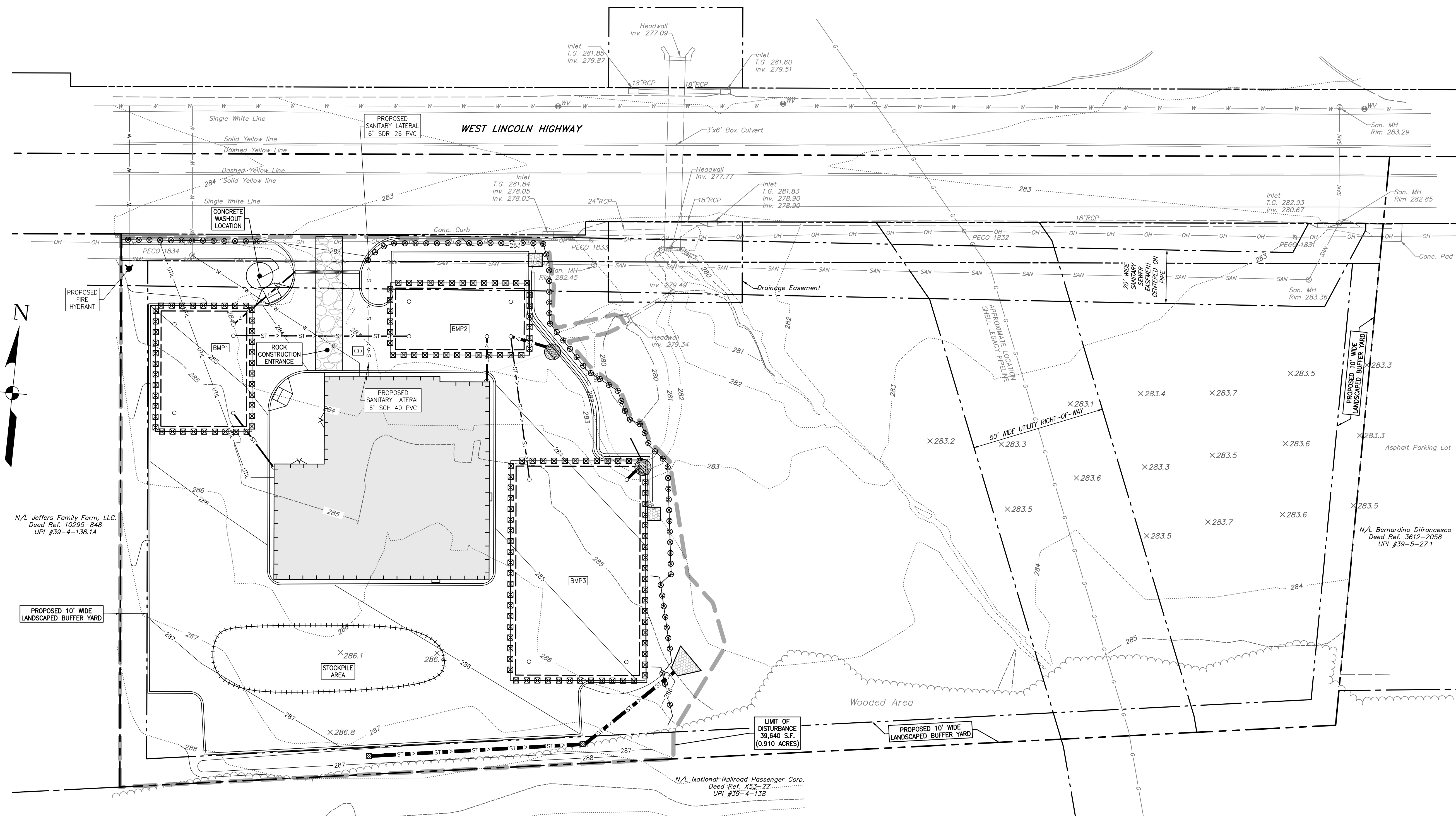
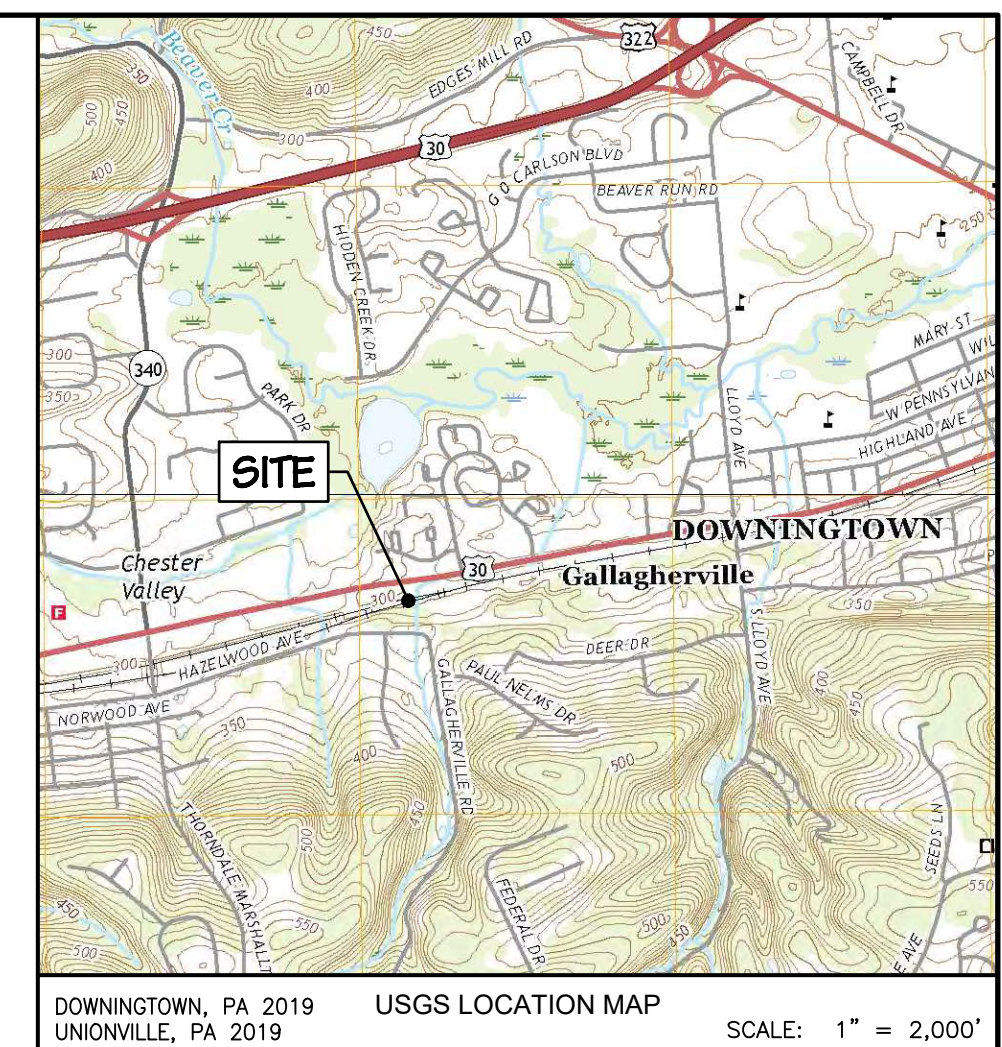
PA ACT 172 (1986) REQUIRES THREE WORKING DAYS NOTICE TO UTILITIES BEFORE YOU EXCAVATE, DRILL, BLAST OR DEMOLISH.

OSHA 1926.651 SPECIAL EXCAVATION

REQUIREMENTS (A) PRIOR TO OPENING AN EXCAVATION, EFFORT SHALL BE MADE TO DETERMINE WHETHER UNDERGROUND INSTALLATIONS, I.E., SEWER, TELEPHONE, WATER, FUEL, ELECTRIC LINES, ETC. WILL BE ENCOUNTERED, AND IF SO, WHERE SUCH UNDERGROUND INSTALLATIONS ARE LOCATED. WHEN THE EXCAVATION APPROACHES THE ESTIMATED LOCATION OF SUCH AN INSTALLATION, THE EXACT LOCATION SHALL BE DETERMINED AND WHEN IT IS UNCOVERED, PROPER SUPPORTS SHALL BE PROVIDED FOR THE EXISTING INSTALLATION. UTILITY COMPANIES SHALL BE CONTACTED AND ADVISED OF PROPOSED WORK PRIOR TO THE START OF ACTUAL EXCAVATION.

OUTSIDE PENNA. OR IN THE PITTSBURGH AREA WE CAN ALSO BE REACHED AT 412-323-7100

PA ONE CALL SERIAL NO. 20230232563 UPI: 39-4-138.1

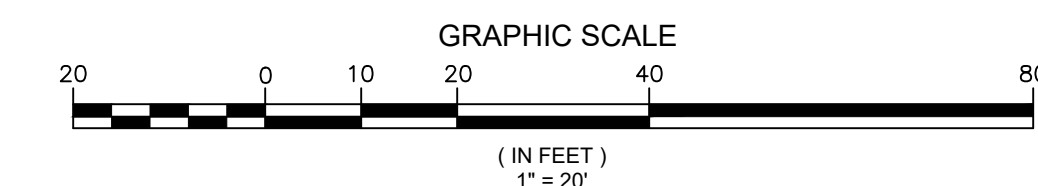


- ### CONSTRUCTION SEQUENCE
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROPER CONSTRUCTION, STABILIZATION, AND MAINTENANCE OF ALL EROSION AND SEDIMENTATION CONTROL AND RELATED ITEMS ON THE PLANS. UNTIL THE SITE IS STABILIZED, ALL EROSION AND SEDIMENTATION CONTROLS MUST BE PROPERLY MAINTAINED. MAINTENANCE MUST INCLUDE INSPECTIONS OF ALL CONTROLS AFTER EACH STORM EVENT AND ON A WEEKLY BASIS. THE CONTRACTOR IS ADVISED TO BECOME FAMILIAR WITH THE PROVISIONS OF APPENDIX 64, EROSION CONTROL RULES AND REGULATIONS, TITLE 25, PART 1, DEPARTMENT OF ENVIRONMENTAL PROTECTION, SUBPART C, PROTECTION OF NATURAL RESOURCES, ARTICLE II, WATER RESOURCES; CHAPTER 102, EROSION CONTROL, SHOULD UNFORESEEN EROSION CONDITIONS DEVELOP DURING CONSTRUCTION, THE CONTRACTOR SHALL TAKE ACTION TO REMEDY SUCH CONDITIONS AND TO PREVENT DAMAGE TO ADJACENT PROPERTIES AS A RESULT OF INCREASED RUNOFF AND/OR SEDIMENT DISPLACEMENT. STOCKPILES OF MATERIALS FOR USE AS CONTROL MEASURES SHALL BE HELD IN READINESS TO DEAL IMMEDIATELY WITH EMERGENCY PROBLEMS OF EROSION.
- ANTICIPATED START OF CONSTRUCTION: FALL 2023
 ANTICIPATED COMPLETION OF CONSTRUCTION: FALL 2024
- CONSTRUCTION SHALL PROCEED IN ACCORDANCE WITH THE FOLLOWING SEQUENCE.
 - CONSTRUCTION SHALL COMMENCE UPON RECEIPT OF THE NECESSARY PERMITS FROM THE MUNICIPALITY.
 - CONTRACTOR SHALL CONTACT UNDERGROUND UTILITIES AS PER ACT 187, AT LEAST 3 DAYS PRIOR TO ANY EARTHMOVING OR CONSTRUCTION.
 - THE LIMIT OF DISTURBANCE SHALL BE FIELD DELINEATED PRIOR TO THE START OF ANY EARTHMOVING ACTIVITIES.
 - INSTALL ROCK CONSTRUCTION ENTRANCE, TEMPORARY SILT SOCKS AND CONSTRUCTION FENCE WHERE INDICATED ON THE PLAN. NOTIFY TOWNSHIP ENGINEER FOLLOWING INSTALLATION OF PROTECTIVE BARRIERS PRIOR TO EARTH DISTURBANCE. CONTRACTOR SHALL MAKE SURE ANY MUD, DIRT, OR DEBRIS THAT REACHES THIS OR ANY ADJOINING ROAD AS A RESULT OF THIS CONSTRUCTION BE REMOVED IMMEDIATELY. REMOVE EXISTING SITE IMPROVEMENTS AS SHOWN ON THE PLANS.
 - REMOVE EXISTING FEATURES AS SHOWN ON THE PLANS.
 - ROUTINE END-OF-DAY CHECKS AND CHECKS FOLLOWING STORMS SHALL BE REQUIRED DURING CONSTRUCTION TO ENSURE EROSION AND SEDIMENT CONTROL MEASURES ARE WORKING PROPERLY.
 - ALL BUILDING MATERIALS AND WASTES SHALL BE REMOVED FROM THE SITE AND RECYCLED OR DISPOSED OF IN ACCORDANCE WITH PADEP SOLID WASTE MANAGEMENT REGULATIONS AT 25 PA CODE 260.1, ET SEQ. 271.1, AND 287.1 ET SEQ. NO BUILDING MATERIALS, WASTES, OR UNUSED BUILDING MATERIALS SHALL BE BURNED, BURIED, DUMPED, OR DISCHARGED AT THE SITE.
 - STRIP AND STOCKPILE TOPSOIL IN THE AREA OF THE PROPOSED CONSTRUCTION.
 - ROUGH GRADE SITE. THE INFILTRATION BED AREAS SHALL BE PROTECTED FROM CONSTRUCTION TRAFFIC TO THE GREATEST EXTENT PRACTICAL.
 - EXCAVATE FOR AND BEGIN BUILDING CONSTRUCTION. AS CONSTRUCTION ALLOWS, INSTALL UTILITIES SERVICES.
 - INSTALL PROPOSED CURB.
 - CONSTRUCT INFILTRATION BEDS (BMP1, BMP2 AND BMP3). SURROUND WITH ORANGE CONSTRUCTION FENCE. INSTALL FUTURE PIPE FOR ROOF DRAIN CONNECTIONS. INFILTRATION BEDS SHALL BE PROTECTED FROM CONSTRUCTION TRAFFIC TO THE GREATEST EXTENT PRACTICAL.
 - INSTALL PARKING AREA STONE BASE.
 - COMPLETE BUILDING CONSTRUCTION AND UTILITY INSTALLATION.
 - PAVE PROPOSED PARKING AREAS AND DRIVEWAY.
 - INSTALL PROPOSED PARKING STRIPING.
 - INSTALL LANDSCAPING.
 - ONCE DISTURBANCE IS COMPLETE, FINE GRADE AND SPREAD TOPSOIL IN DISTURBED AREAS. IMMEDIATELY STABILIZE THESE AREAS WITH PERMANENT GROUND COVER.
 - STABILIZATION SHALL CONSIST OF A MINIMUM OF 70% OF GOOD VEGETATIVE COVER.
 - CONTACT TOWNSHIP ENGINEER PRIOR TO REMOVAL OF SEDIMENT BARRIERS. UPON CONCURRENCE OF THE TOWNSHIP ENGINEER, REMOVE TEMPORARY SILT SOCK AND STABILIZE AREAS DISTURBED AS A RESULT OF REMOVING THE TEMPORARY FENCING.

- ### NOTES
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROPER CONSTRUCTION, STABILIZATION AND MAINTENANCE OF ALL EROSION AND SEDIMENTATION CONTROLS AND RELATED ITEMS SHOWN ON THE PLANS.
 - UNTIL THE SITE IS FULLY STABILIZED, ALL EROSION AND SEDIMENTATION CONTROLS MUST BE PROPERLY MAINTAINED. MAINTENANCE MUST INCLUDE INSPECTIONS OF ALL CONTROLS AFTER EACH STORM AND ON A WEEKLY BASIS.
 - SEDIMENT BARRIERS (I.E., SILT FENCE) SHALL BE INSTALLED BELOW ALL AREAS DISTURBED FOR THE ESTABLISHMENT OF LAWNS AND SHALL BE MAINTAINED UNTIL THE LAWN HAS BEEN PERMANENTLY STABILIZED.

INFILTRATION BED SEQUENCE OF CONSTRUCTION

- PRIOR TO BEGINNING CONSTRUCTION OF THE INFILTRATION BED [SWF], THE CONTRACTOR IS TO CONFIRM THAT NO RAIN IS FORECASTED FOR THE DURATION OF THE CONSTRUCTION OF THE BED.
- CONTACT THE TOWNSHIP AND DESIGN ENGINEERS NO LESS THAN 2 BUSINESS DAYS PRIOR TO THE BEGINNING OF CONSTRUCTION OF THE SWF.
- THE SWF SHALL NOT RECEIVE RUNOFF UNTIL THE ENTIRE CONTRIBUTORY AREA HAS BEEN STABILIZED.
- EXCAVATE THE AREA OF THE SWF TO THE PROPOSED BOTTOM ELEVATION. EXCAVATION OF THE BED SHALL BE DONE IN A MANNER THAT DOES NOT DISTURB THE SOIL STRUCTURE OF THE BOTTOM OF THE SWF.
- SCARIFIED THE BOTTOM AND SIDES OF THE SWF PRIOR TO PLACING THE GEOTEXTILE FABRIC AND THE STONE.
- PLACE GEOTEXTILE FABRIC ON THE SIDES OF THE EXCAVATION. PROVIDE SUFFICIENT FABRIC TO OVERLAP THE TOP OF THE SWF.
- INSTALL TRENCH DRAIN/INLETS, SEWER PIPING, DISCHARGE PIPE, AND CLEANOUTS. THE TRENCH DRAIN/INLET IS TO BE COVERED WITH PLYWOOD AND A WATER-TIGHT SEAL IS TO BE PLACED OVER THE OPENING AND MAINTAINED UNTIL THE BED IS COMPLETED AND ALL AREAS DRAINING TO IT ARE PERMANENTLY STABILIZED.
- PLACE CLEAN WASHED, AND UNIFORMLY GRADED CLEAN AGGREGATE IN THE BOTTOM OF THE SWF UP TO THE BOTTOM OF THE DISTRIBUTION PIPE. CARE SHALL BE TAKEN TO ENSURE THAT THE GEOTEXTILE FABRIC IN THE SWF IS NOT TORN DURING INSTALLATION.
- INSTALL THE DISTRIBUTION PIPE AS SHOWN ON THE PLAN AND IN THE DETAILS.
- COMPLETE PLACEMENT OF THE REMAINING STONE IN THE SWF. COVER THE TOP OF THE STONE WITH THE GEOTEXTILE FABRIC PROVIDING A MINIMUM OVERLAP OF ANY SEAM BY NO LESS THAN 12 INCHES.
- BACKFILL OVER THE GEOTEXTILE FABRIC WITH BACKFILL MATERIAL TO SUBGRADE.
- ONCE THE SWF IS COMPLETED AND ALL AREAS DRAINING TO IT ARE PERMANENTLY STABILIZED, UNBLOCK THE TRENCH DRAIN/INLETS.



- ### LEGEND
- PROPERTY BOUNDARY
 - ADJOINER BOUNDARY
 - EXISTING ROAD RIGHT-OF-WAY
 - PROPOSED EASEMENT
 - EXISTING CURB
 - EXISTING EDGE OF PAVING
 - EXISTING FENCE
 - EXISTING 5' CONTOUR
 - EXISTING 1' CONTOUR
 - EXISTING TREE LINE
 - EXISTING AERIAL UTILITY WIRES
 - SAN EXISTING SANITARY SEWER MAIN
 - W EXISTING WATER MAIN
 - G EXISTING UNDERGROUND GAS PIPELINE
 - PROPOSED CURB
 - PROPOSED 1' CONTOUR
 - 204 PROPOSED STORM PIPE
 - ST PROPOSED SANITARY LATERAL
 - S PROPOSED WATER LATERAL
 - W PROPOSED UNDERGROUND UTILITIES (ELECTRIC, TELEPHONE, CABLE)
 - UTIL
 - LIMIT OF DISTURBANCE
 - ORANGE CONSTRUCTION FENCE
 - 18" SILT FENCE
 - 18" SILT SOCK

SOILS DESCRIPTIONS (WITHIN PROJECT AREA)					
SYMBOL	DESCRIPTION	DEPTH TO RESTRICTIVE FEATURE	NATURAL DRAINAGE CLASS	DEPTH TO WATER TABLE	HYDROLOGIC SOIL GROUP
UuDb	URBAN LAND-UDORTHERMS, LIMESTONE COMPLEX 0-8% SLOPES	20-99" TO LITHIC BEDROCK	MODERATELY WELL DRAINED	ABOUT 6-24"	C/D NO

GEOLOGY DESCRIPTION (WITHIN PROJECT AREA)						
UNIT NO.	MAP SYMBOL	NAME	AGE	LITH1	LITH2	LITH3
143	Ce	ELBROOK FORMATION	CAMBRIAN	CALCAREOUS SHALE	SILTY LIMESTONE	LIMESTONE-DOLOMITE

BEFORE YOU DIG ANYWHERE IN PENNSYLVANIA CALL 1-800-242-1776 NON-MEMBERS MUST BE CONTACTED DIRECTLY

PA ACT 172 (1986) REQUIRES THREE WORKING DAYS NOTICE TO UTILITIES BEFORE YOU EXCAVATE, DRILL, BLAST OR DEMOLISH.

OSHA 1926.651 SPECIAL EXCAVATION

REQUIREMENTS (A) PRIOR TO OPENING AN EXCAVATION, EFFORT SHALL BE MADE TO DETERMINE WHETHER UNDERGROUND INSTALLATIONS, I.E., SEWER, TELEPHONE, WATER, FUEL, ELECTRIC LINES, ETC. WILL BE ENCOUNTERED, AND IF SO, WHERE SUCH UNDERGROUND INSTALLATIONS ARE LOCATED. WHEN THE EXCAVATION APPROACHES THE ESTIMATED LOCATION OF SUCH AN INSTALLATION, THE EXACT LOCATION SHALL BE DETERMINED AND WHEN IT IS UNCOVERED, PROPER SUPPORTS SHALL BE PROVIDED FOR THE EXISTING INSTALLATION. UTILITY COMPANIES SHALL BE CONTACTED AND ADVISED OF PROPOSED WORK PRIOR TO THE START OF ACTUAL EXCAVATION.

OUTSIDE PDMA OR IN THE PITTSBURGH AREA WE CAN ALSO BE REACHED AT 412-323-7100

PA ONE CALL SERIAL NO. 20230232563 UPI: 39-4-138.1

1	12/7/2023	REVISED PER TOWNSHIP REVIEW LETTERS
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VASTARDIS
CONSULTING ENGINEERS, LLC

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PLAN PREPARED FOR:

DPP2022 PROPERTIES LLC
4000 WEST LINCOLN HIGHWAY

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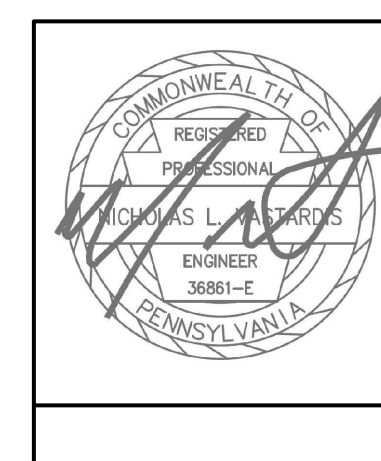
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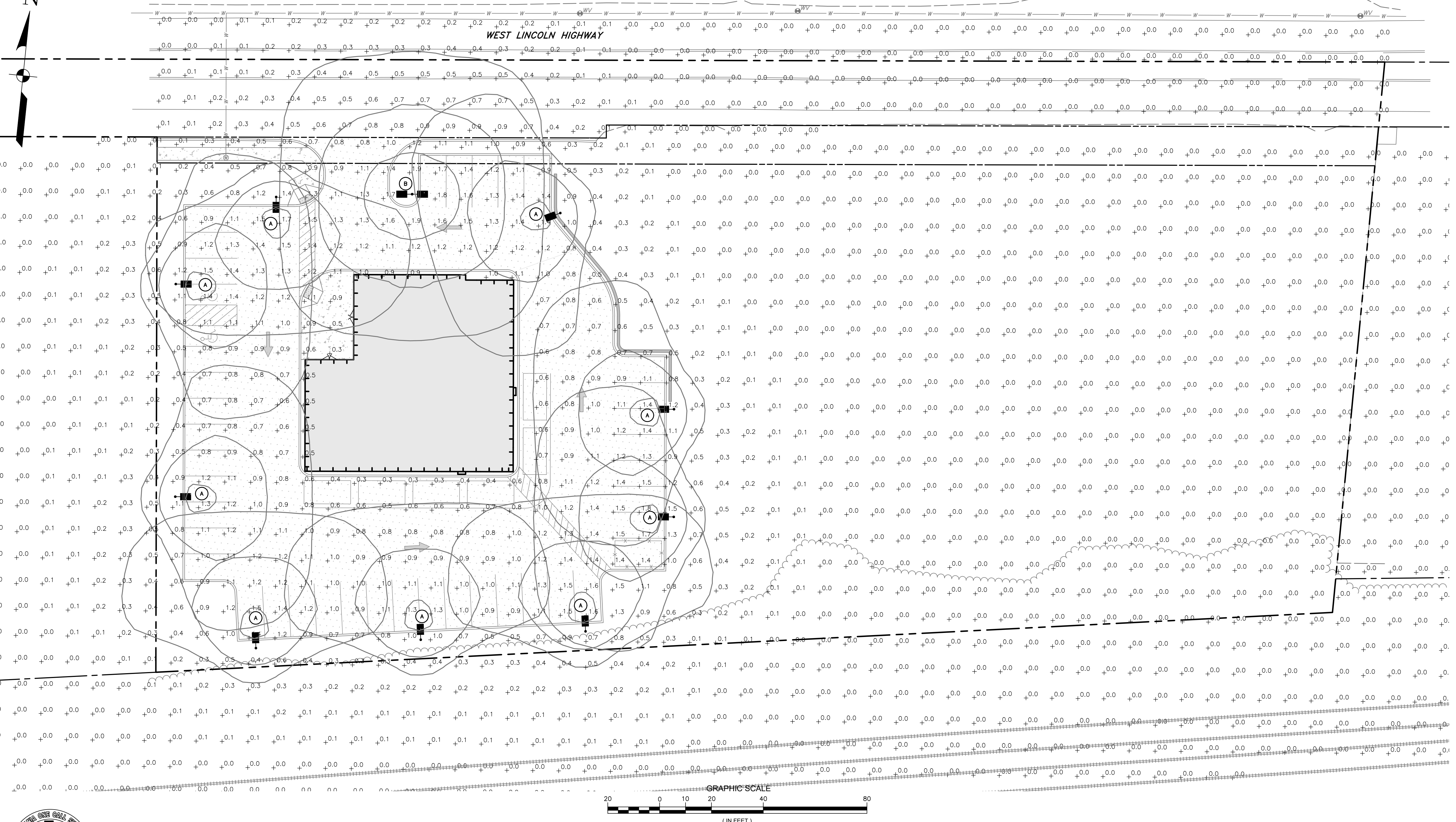
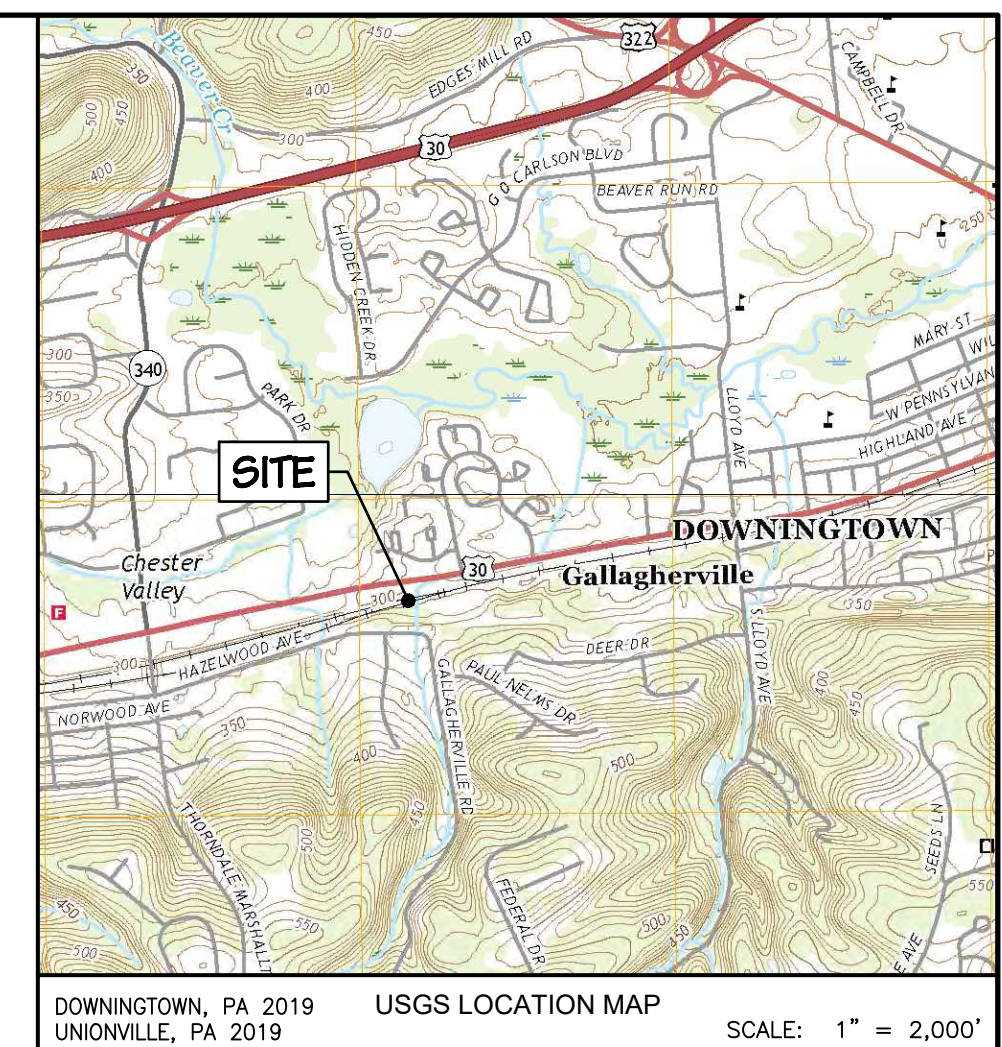
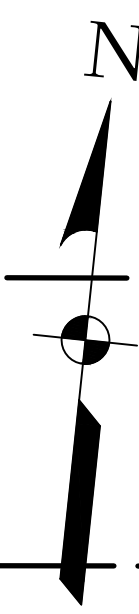
EROSION AND SEDIMENTATION CONTROL PLAN

DRAWN BY	iii
CHECKED BY	NV
DATE	6/30/2023
SCALE	1" = 20'

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of 11





LEGEND

- PROPERTY BOUNDARY
- ADJOINER BOUNDARY
- RIGHT-OF-WAY
- PROPOSED EASEMENT
- EXISTING CURB
- EXISTING EDGE OF PAVING
- EXISTING FENCE
- EXISTING TREE LINE
- PROPOSED CURB
- PROPOSED FENCE



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THE START OF ACTUAL EXCAVATION.

OUTSIDE PDMA OR IN THE PITTSBURGH AREA
WE CAN ALSO BE REACHED AT 412-323-7100

LIGHTING STATISTICS

DESCRIPTION	SYMBOL	AVG	MAX	MIN	MAX/MIN	AVG/MIN
SITE PARKING LOT	+	1.0 fc	1.8 fc	0.3 fc	6.0:1	3.3:1
ROUTE 30	+	0.1 fc	0.9 fc	0.0 fc	N/A	N/A
FULL SITE	+	0.2 fc	1.9 fc	0.0 fc	N/A	N/A

LIGHTING SCHEDULE

SYMBOL	LABEL	QUANTITY	MANUFACTURER	CATALOG	DESCRIPTION	LAMP OUTPUT	LLF	INPUT POWER
●	A	9	AMERICAN ELECTRIC LIGHTING	ATBO P201 R4 4K/5K HSS-25' RTA POLE	AUTOBAHN SMALL P201 PACKAGE ROADWAY TYPE IV 4000K/5000K HOUSE SIDE SHIELD	4415	0.9	36
●	B	1	AMERICAN ELECTRIC LIGHTING	ATBO P201 R4 4K/5K HSS-25' RTA POLE	AUTOBAHN SMALL P201 PACKAGE ROADWAY TYPE IV 4000K/5000K HOUSE SIDE SHIELD	4415	0.9	72

SOILS DESCRIPTIONS (WITHIN PROJECT AREA)						GEOLOGY DESCRIPTION (WITHIN PROJECT AREA)							
SYMBOL	DESCRIPTION	DEPTH TO RESTRICTIVE FEATURE	NATURAL DRAINAGE CLASS	DEPTH TO WATER TABLE	HYDROLOGIC SOIL GROUP	HYDRIC SOIL RATING	UNIT NO.	MAP SYMBOL	NAME	AGE	LITH1	LITH2	LITH3
UuDb	URBAN LAND-UDORTMENTS, LIMESTONE COMPLEX 0-8% SLOPES	20-99" TO LITHIC BEDROCK	MODERATELY WELL DRAINED	ABOUT 6-24"	C/D	NO	143	Ce	ELBROOK FORMATION	CAMBRIAN	CALCAREOUS SHALE	SILTY LIMESTONE	LIMESTONE- DOLOMITE

SOILS INFORMATION TAKEN FROM UNITED STATES DEPARTMENT OF AGRICULTURE, NATURAL RESOURCE CONSERVATION SERVICE, WEB SOIL SURVEY.

GEOLOGY INFORMATION TAKEN FROM PENNSYLVANIA DEPARTMENT OF ENVIRONMENTAL PROTECTION, eMapPA

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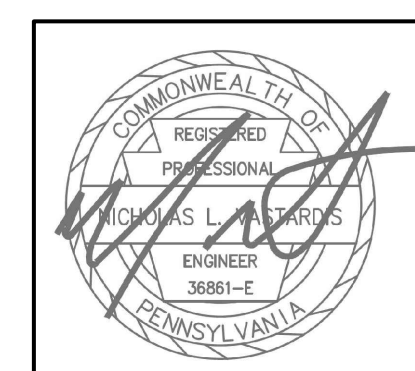
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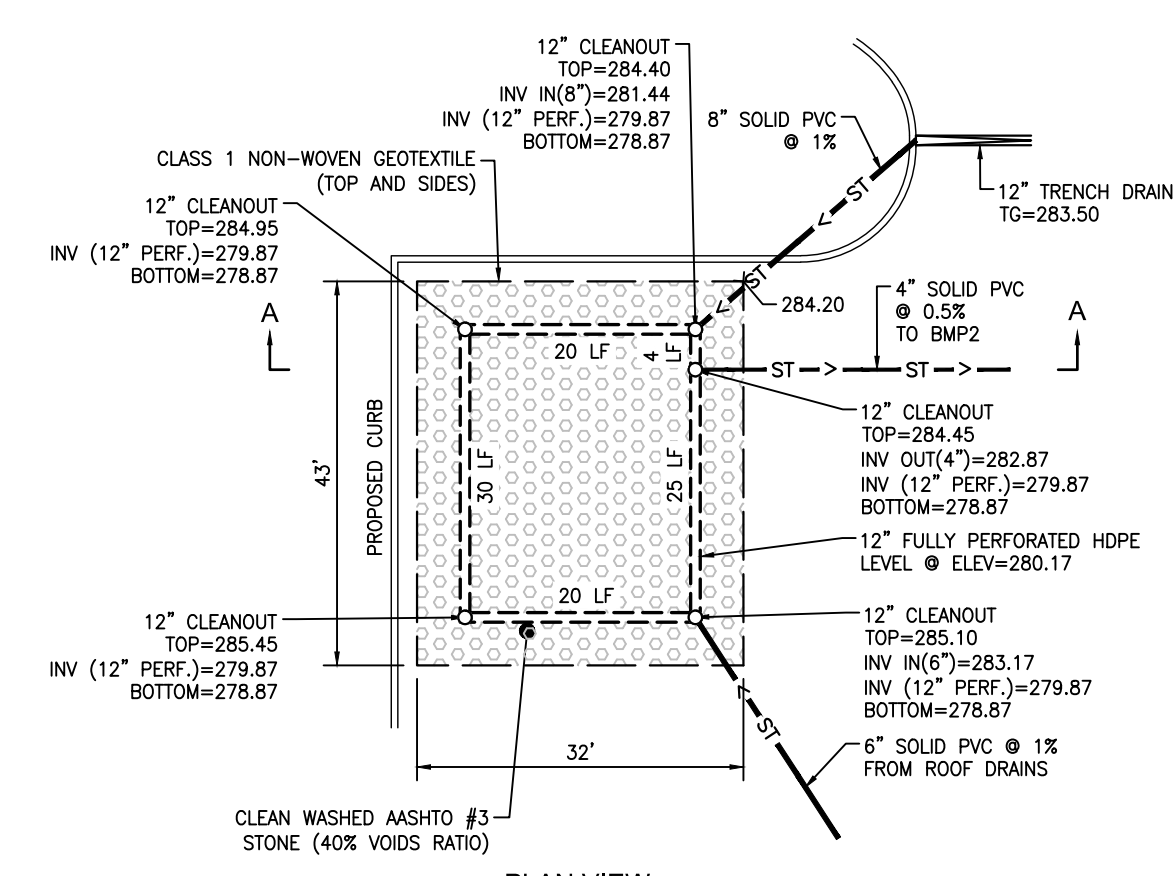
LIGHTING PLAN

DRAWN BY	III
CHECKED BY	NV
DATE	6/30/2023
SCALE	1" = 20'

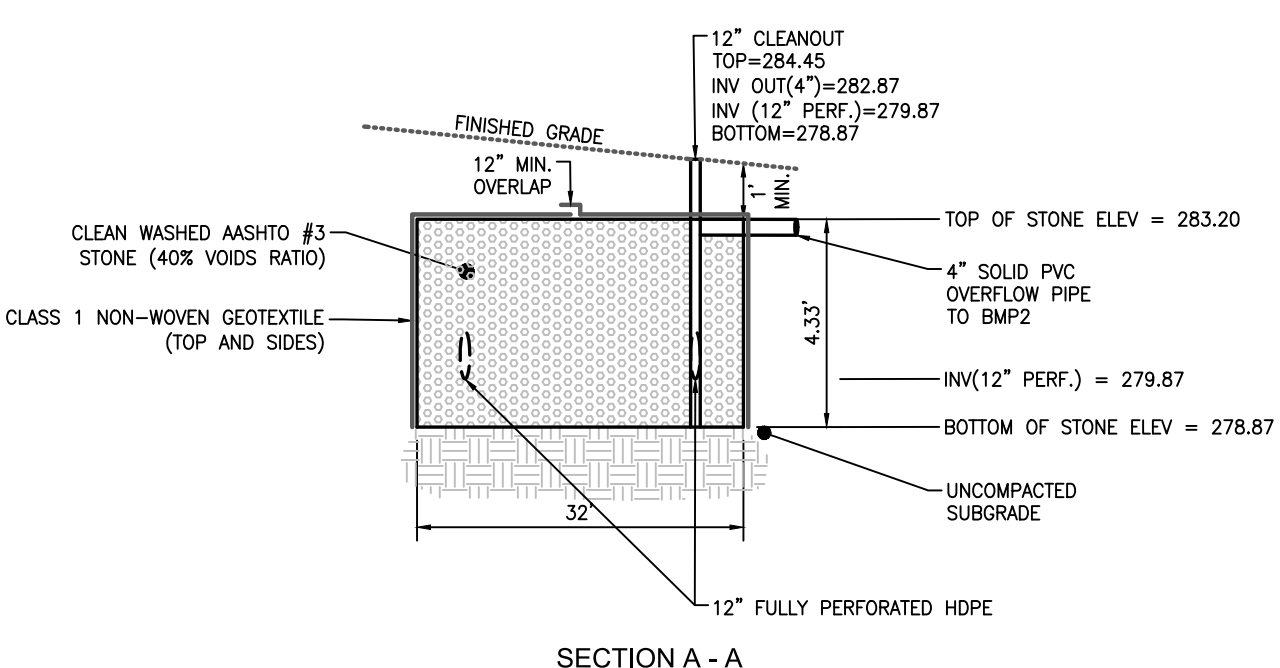
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of 11



PA ONE CALL
SERIAL NO. 20230232563
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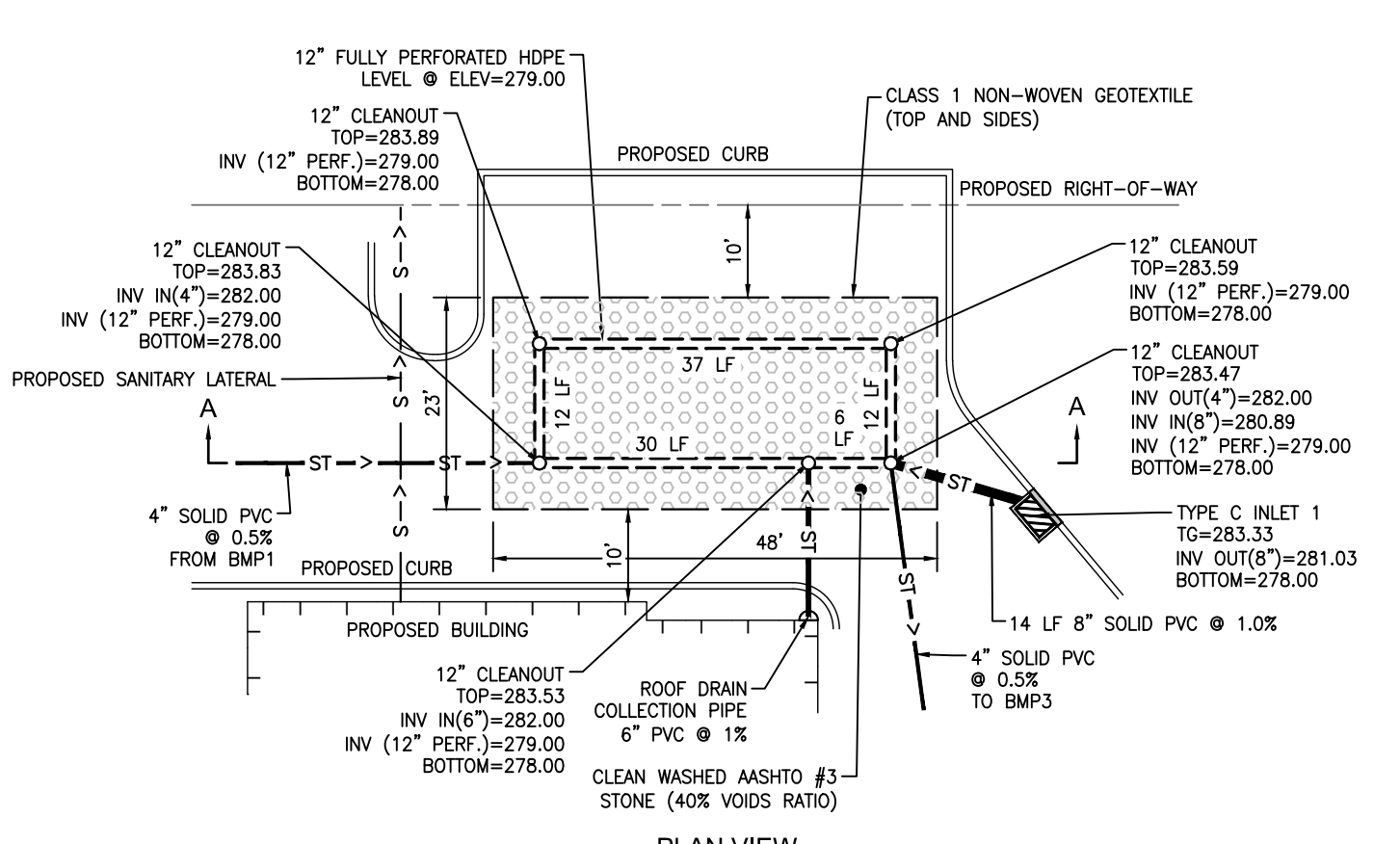


PLAN VIEW

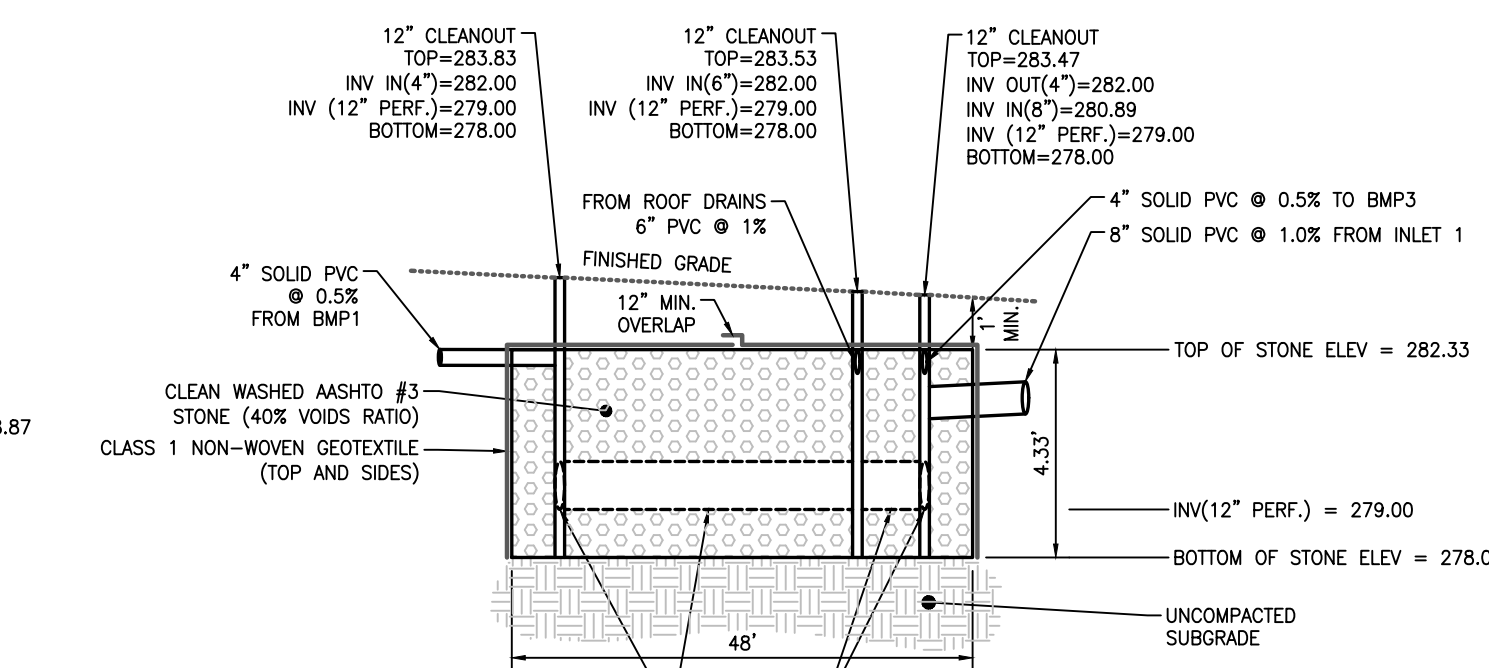


SECTION A-A

BMP1
SUBSURFACE INFILTRATION BED DETAIL
NOT TO SCALE

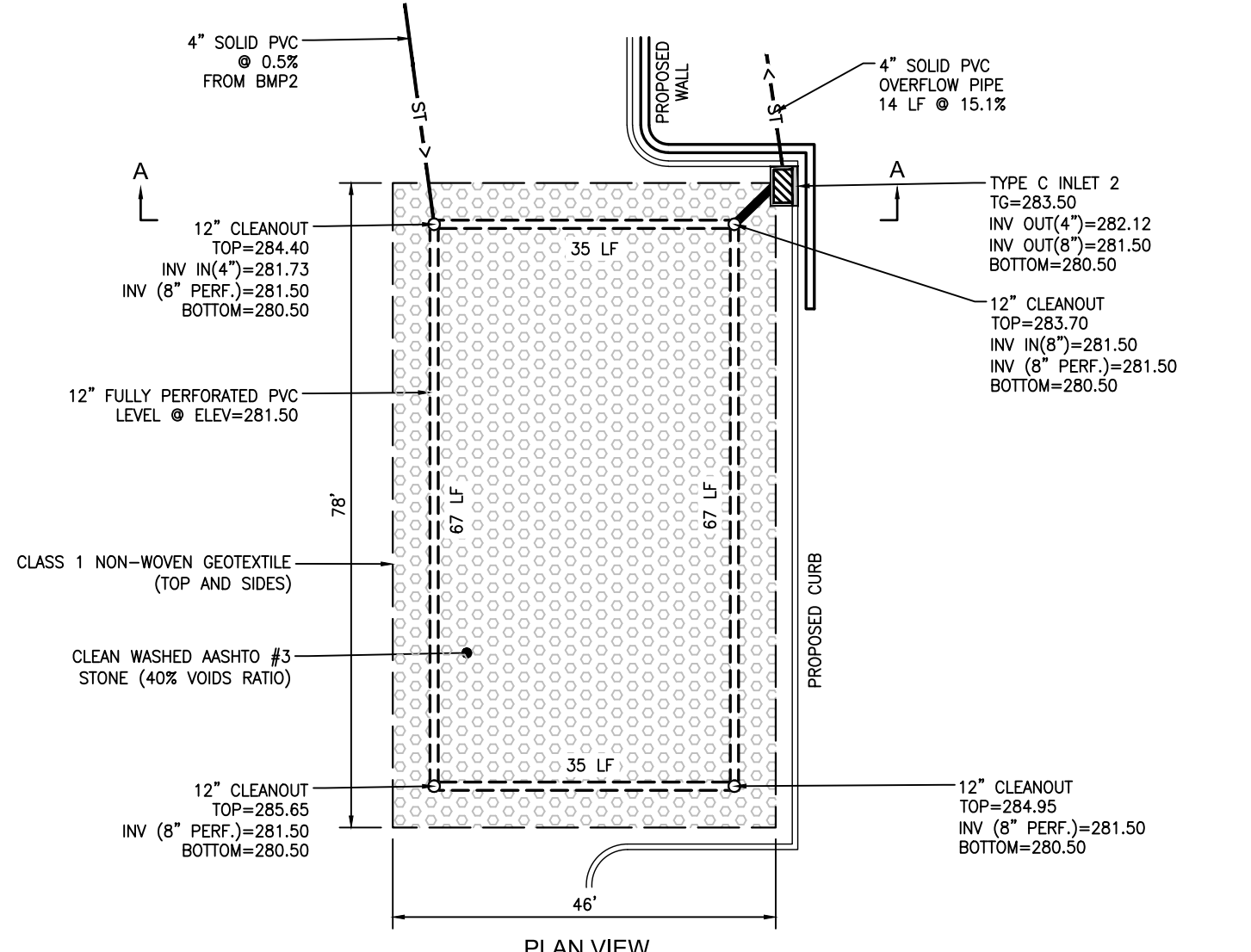


PLAN VIEW

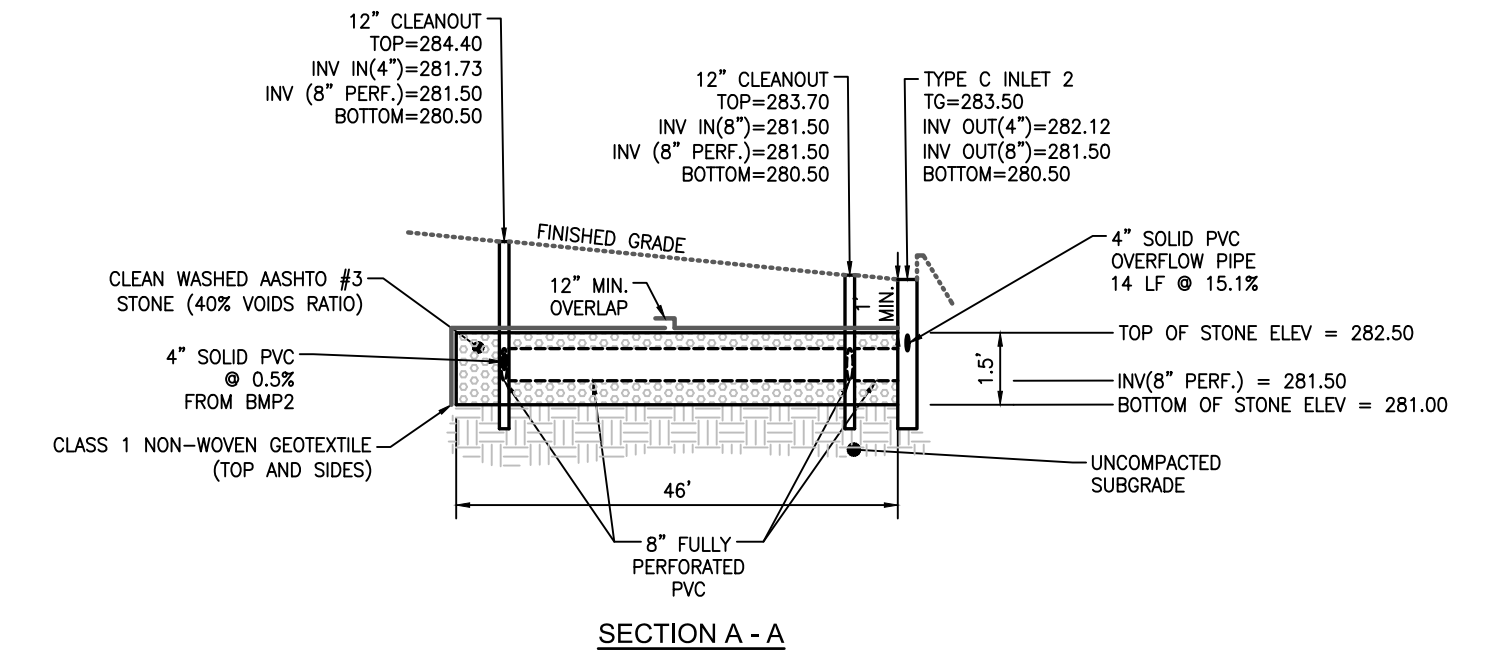


SECTION A-A

BMP2
SUBSURFACE INFILTRATION BED DETAIL
NOT TO SCALE

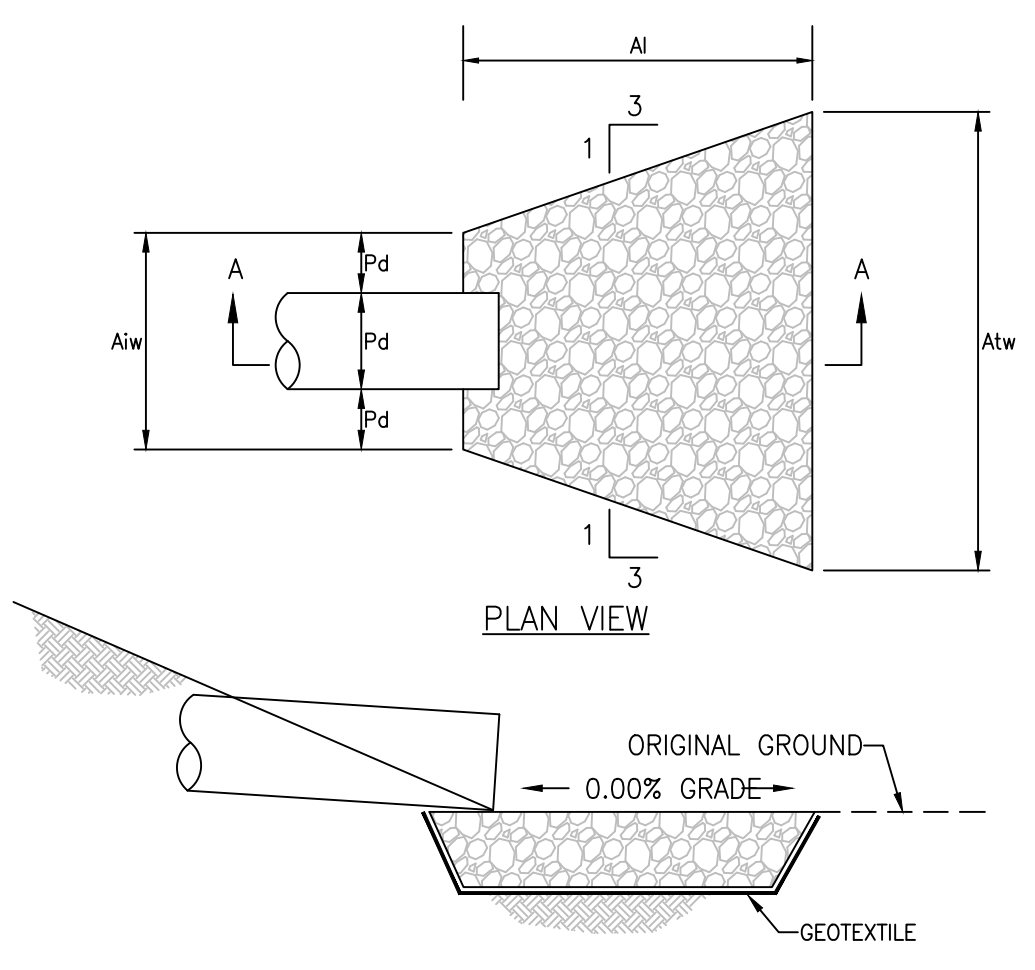


PLAN VIEW



SECTION A-A

BMP3
SUBSURFACE INFILTRATION BED DETAIL
NOT TO SCALE



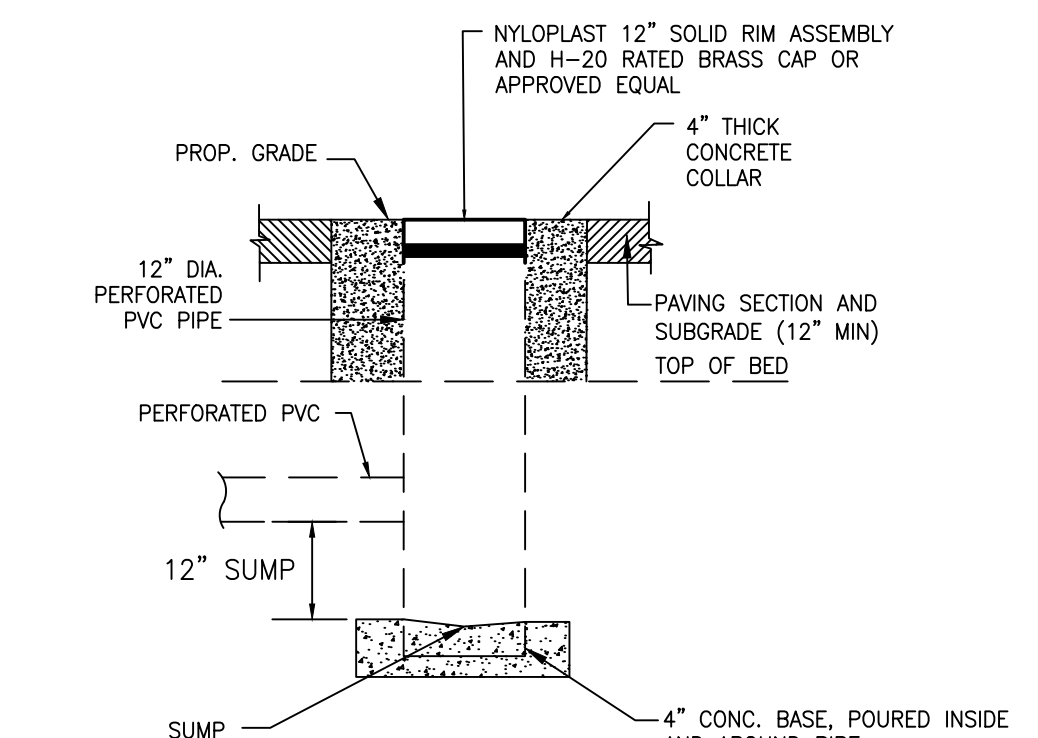
PLAN VIEW

SECTION A-A

OUTLET NO.	PIPE DIA Pd (IN)	RIPRAP		INITIAL WIDTH Aw (FT)	TERMINAL WIDTH Atw (FT)
		SIZE R-	THICK. Ft (IN)		
1	15	4	18	8	3.75

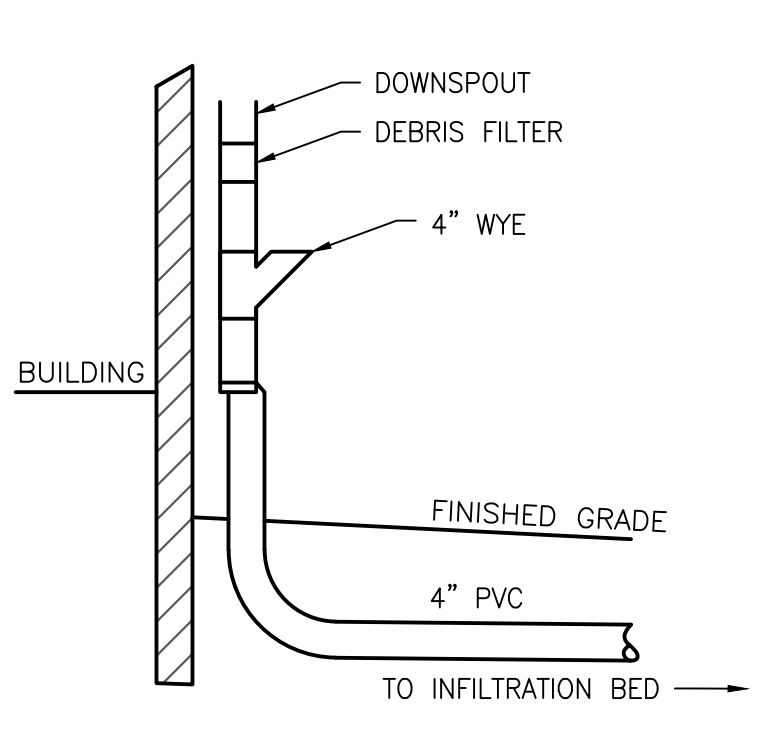
- NOTES:**
- ALL APRONS SHALL BE CONSTRUCTED TO THE DIMENSIONS SHOWN. TERMINAL WIDTHS SHALL BE ADJUSTED AS NECESSARY TO MATCH RECEIVING CHANNELS.
 - ALL APRONS SHALL BE INSPECTED AT LEAST WEEKLY AND AFTER EACH RUNOFF EVENT. DISPLACED RIPRAP WITHIN THE APRON SHALL BE REPLACED IMMEDIATELY.
 - EXTEND RIPRAP ON BACK SIDE OF APRON TO AT LEAST 1/2 DEPTH OF PIPE ON BOTH SIDES TO PREVENT SCOUR AROUND THE PIPE.

RIPRAP APRON DETAIL
NOT TO SCALE



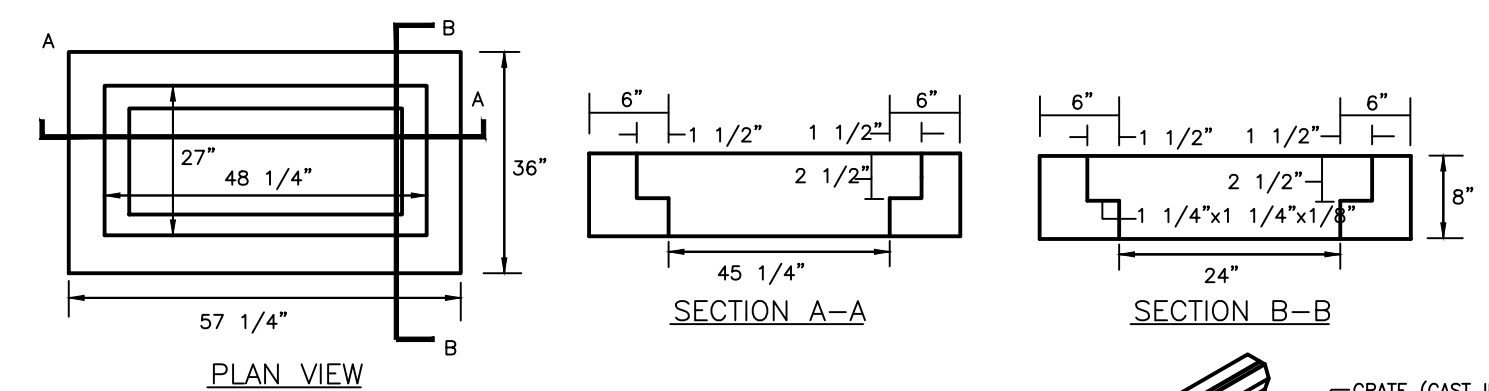
- NOTES**
- REFER TO PERMIT PLAN FOR PIPING ORIENTATION
 - PROVIDE 2-1" HOLES IN BOTTOM OF INLET BOX / CONCRETE.
 - CLAMP 1/4" BY 1/4" GALV. HARDWARE CLOTH OVER DISCHARGE PIPES.

INFILTRATION BED TYPICAL CLEANOUT DETAIL (WITHIN PAVING)
NOT TO SCALE



- NOTE:**
- ALL DOWNSPOUTS AND/OR GUTTERS TRIBUTARY TO THE PROPOSED INFILTRATION BEDS SHALL BE EQUIPPED WITH DEBRIS FILTER OR EQUAL.

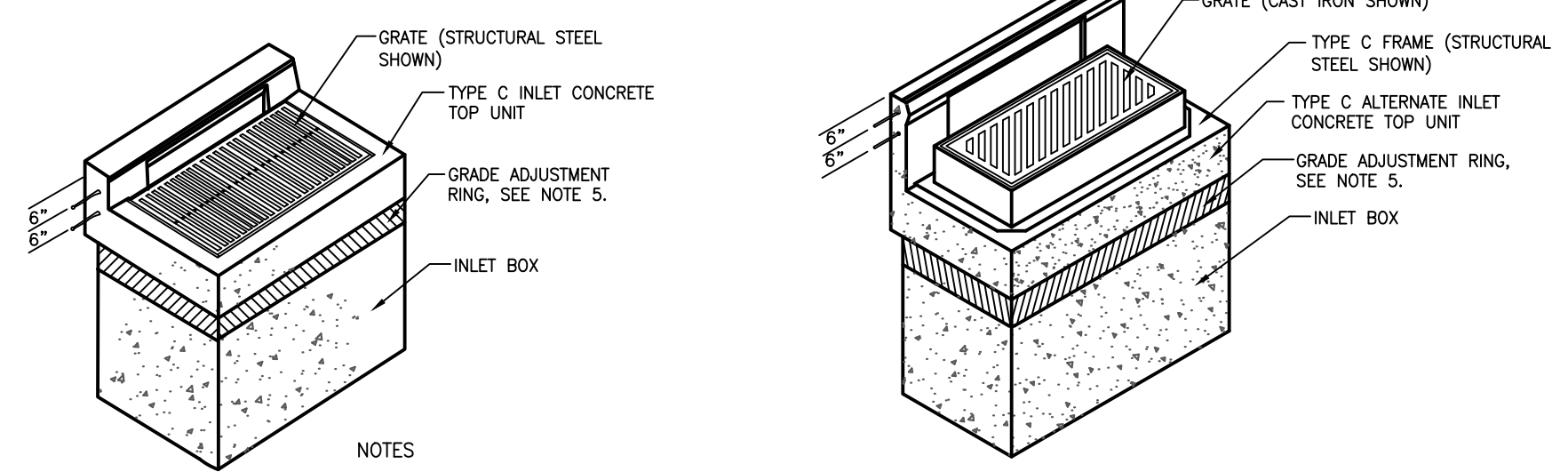
DOWNSPOUT DETAIL
NOT TO SCALE



PLAN VIEW

SECTION A-A

SECTION B-B

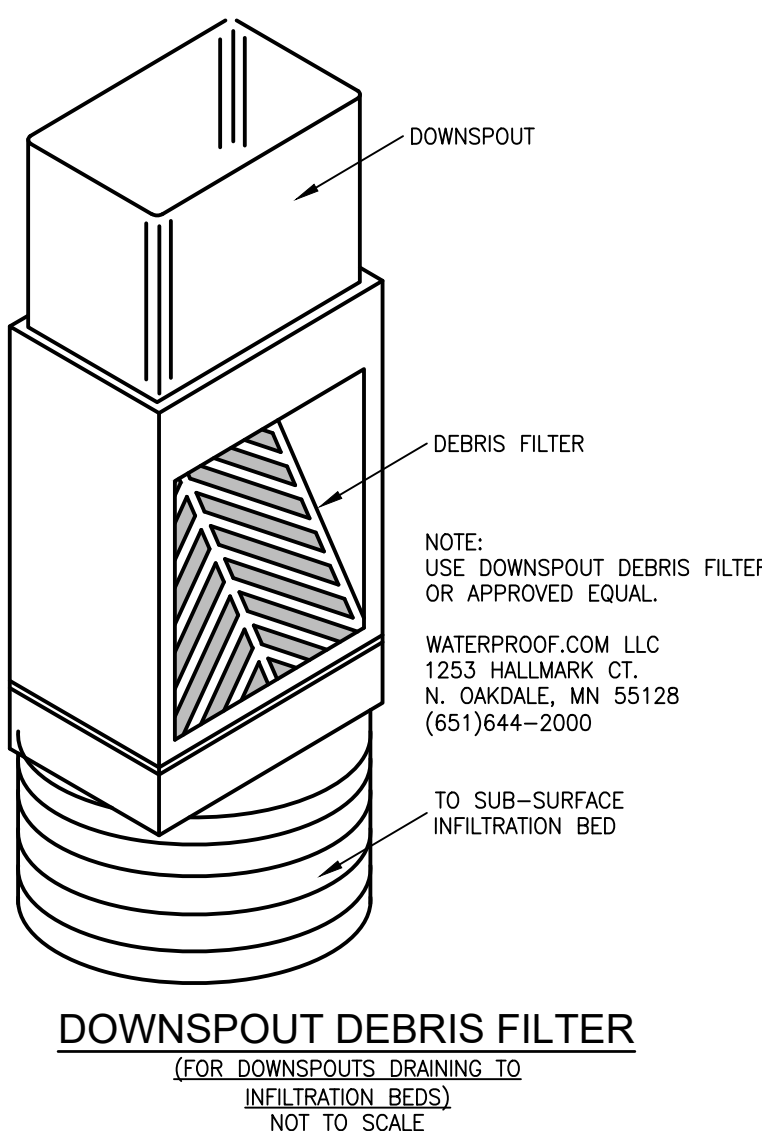


- NOTES**
- CONSTRUCTION REQUIREMENTS:
 - CONSTRUCT IN ACCORDANCE WITH: PENNDOT PUBLICATION 408 SPECIFICATIONS, SECTIONS 605, 606, 714; AND AS MODIFIED HEREIN.
 - MINIMUM CONCRETE CLASS:

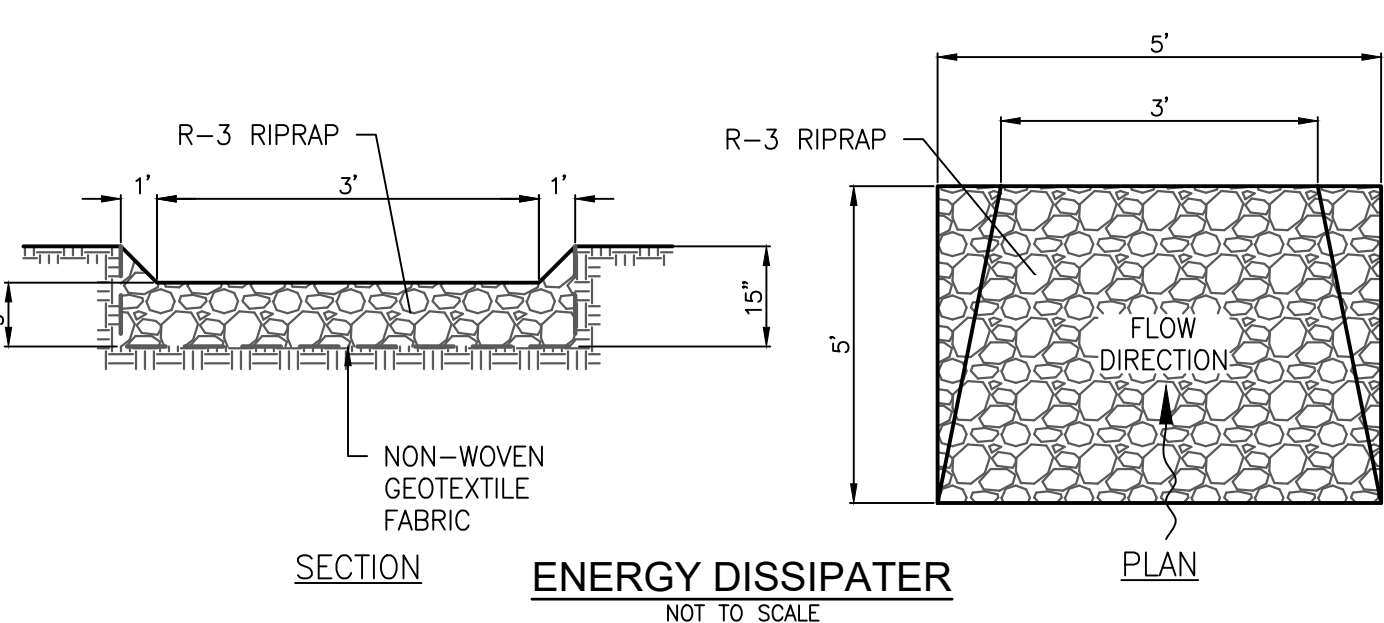
CAST-IN-PLACE	CLASS A
PRECAST	CLASS AA
 - PROVIDE STEEL REINFORCEMENT IN ACCORDANCE WITH SEC. 709. PROVIDE MINIMUM YIELD STRENGTH OF 60,000 PSI.
 - CLEAR COVER FOR STEEL:

WALLS:	CAST-IN-PLACE 2"
FOOTINGS:	PRECAST 1 1/2" (TOP BARS)
	CAST-IN-PLACE 2 1/2" (BOTTOM BARS)
	PRECAST 2" (SIDE COVER)
	2" (TOP BARS)
	1 1/2" (BOTTOM BARS)
	1 1/2" (SIDE COVER)

TYPE C INLET DETAIL
NOT TO SCALE



DOWNSPOUT DEBRIS FILTER
(FOR DOWNSPOUTS DRAINING TO INFILTRATION BEDS)
NOT TO SCALE



SECTION

ENERGY DISSIPATER
NOT TO SCALE

PLAN

INFILTRATION BED NOTES

- DURING SITE CONSTRUCTION, THE INFILTRATION BED SHALL BE PROTECTED FROM COMPACTION DUE TO HEAVY EQUIPMENT OPERATION OR STORAGE OF FILL OR CONSTRUCTION MATERIAL AND SHALL ALSO BE PROTECTED FROM SEDIMENTATION. AREAS THAT ARE ACCIDENTALLY COMPACTED OR GRADED SHALL BE REMEDIATED TO RESTORE SOIL COMPOSITION AND POROSITY. ADEQUATE DOCUMENTATION TO THIS EFFECT SHALL BE SUBMITTED TO THE MUNICIPAL ENGINEER FOR REVIEW. THE SWF SHALL NOT RECEIVE RUNOFF UNTIL THE CONTRIBUTORY DRAINAGE AREA HAS ACHIEVED FINAL STABILIZATION.
- APPROPRIATE, PERMANENT MEASURES, AS SHOWN ON THE PLAN, SHALL BE IMPLEMENTED TO PROTECT THE INFILTRATION BED FROM SEDIMENT LADEN RUNOFF ENTERING IT.
- THE FOLLOWING PROCEDURES AND MATERIALS SHALL BE REQUIRED DURING THE CONSTRUCTION OF THE INFILTRATION BED:
 - EXCAVATION FOR THE INFILTRATION BED SHALL BE PERFORMED WITH EQUIPMENT THAT WILL NOT COMPACT THE BOTTOM OF THE BED.
 - THE BOTTOM OF THE INFILTRATION BED SHALL BE SCARIFIED PRIOR TO THE PLACEMENT OF AGGREGATE.
 - ONLY CLEAN AGGREGATE WITH DOCUMENTED POROSITY, FREE OF FINES, SHALL BE ALLOWED.
 - THE TOP, BOTTOM AND SIDES OF THE INFILTRATION BED SHALL BE COVERED WITH DRAINAGE FABRIC. FABRIC SHALL BE CLASS 1 NON-WOVEN GEOTEXTILE FABRIC ACCEPTABLE TO THE MUNICIPAL ENGINEER.
- STORMWATER SHALL BE DISTRIBUTED THROUGHOUT THE ENTIRE INFILTRATION BED AND PROVISIONS FOR THE COLLECTION OF DEBRIS SHALL BE PROVIDED AS SHOWN ON THE PLAN.
- A SOIL INFILTRATION TEST AT THE LOCATION OF BMP1 AT THE BOTTOM ELEVATION OF THE PROPOSED STORMWATER INFILTRATION BMP IS REQUIRED DURING CONSTRUCTION AND PRIOR TO THE INSTALLATION OF THE STORMWATER BMP. THE TOWNSHIP AND DESIGN ENGINEER SHALL NOTIFIED A MINIMUM OF 2 BUSINESS DAYS PRIOR TO THE INFILTRATION TEST TO PROVIDE AN OPPORTUNITY TO WITNESS THE TEST.

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PRELIMINARY / FINAL

NOTES AND DETAILS

DRAWN BY	III
CHECKED BY	NV
DATE	6/30/2023
SCALE	AS NOTED

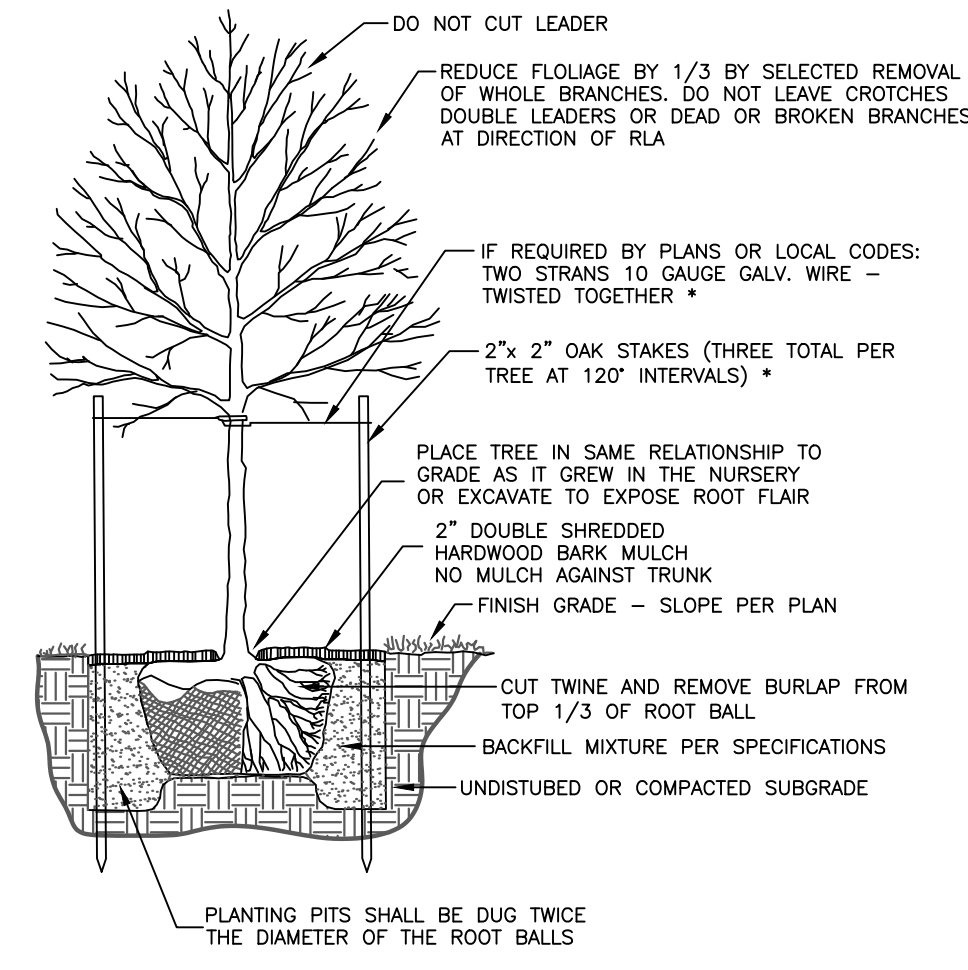
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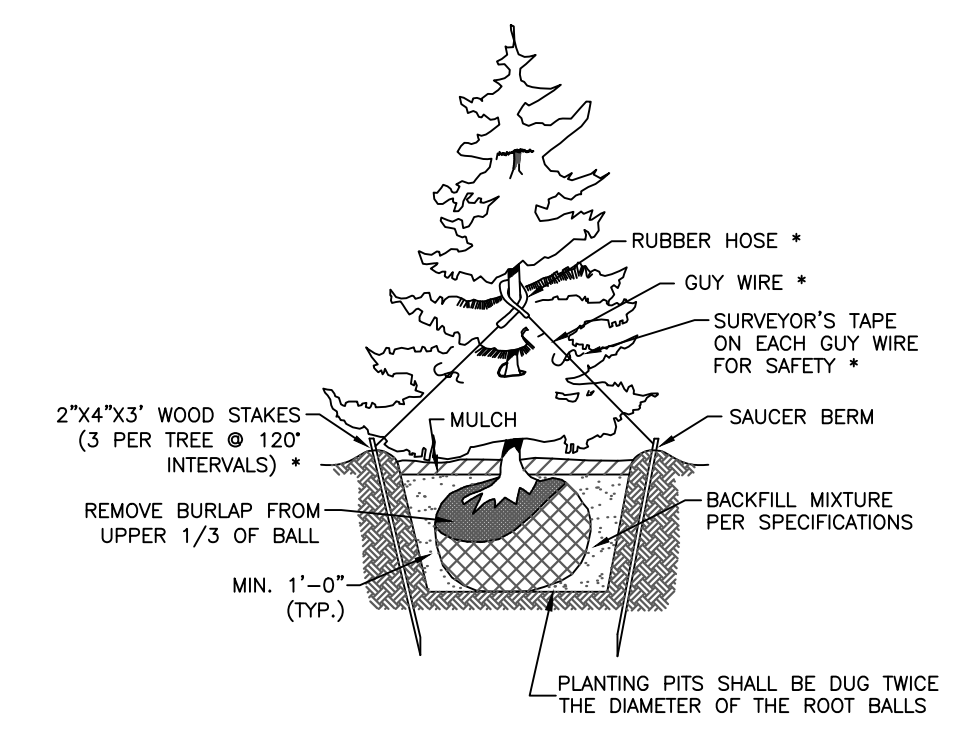
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GENERAL NOTES / PLANT MATERIALS SPECIFICATIONS

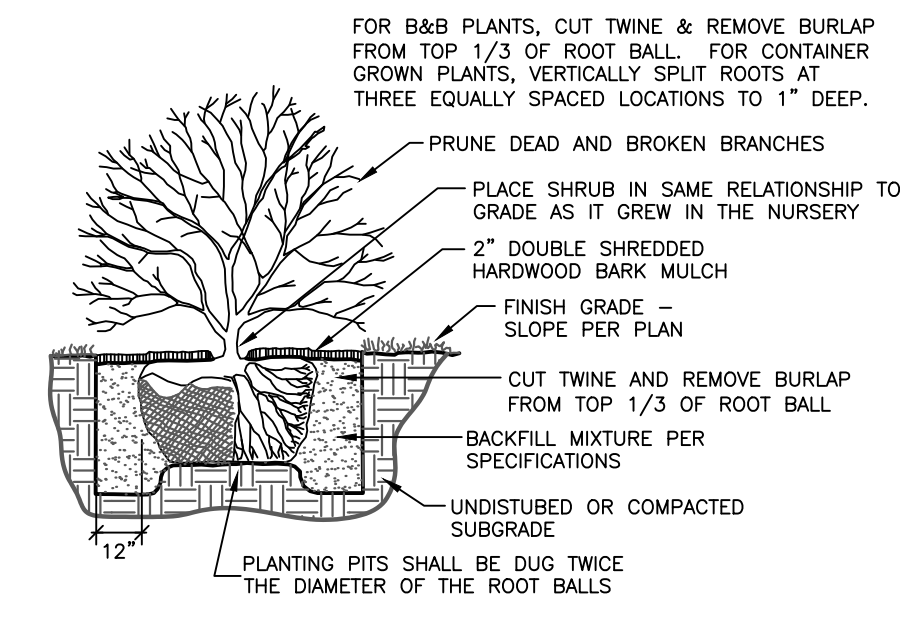
- GUARANTEE**
ALL PROPOSED PLANT MATERIALS SHALL BE GUARANTEED FOR A PERIOD OF TWO YEARS FROM THE DATE OF INITIAL ACCEPTANCE PROVIDED THAT DURING THIS SAME PERIOD THE OWNER SHALL PROVIDE COMPLETE NORMAL AND CUSTOMARY MAINTENANCE OF INSTALLED PLANT MATERIALS.
- LAYOUT**
PROPOSED PLANT MATERIALS SHALL BE LAID OUT ACCORDING TO PLAN DIMENSIONS. IN THE ABSENCE OF PLAN DIMENSIONS CONTRACTOR SHALL LAY OUT PLANTINGS FROM SCALE MEASUREMENTS OF THE PLAN DRAWINGS. FINAL LOCATION AND LAYOUT OF ALL PROPOSED PLANTINGS SHALL BE APPROVED ON SITE BY THE OWNERS REPRESENTATIVE PRIOR TO ANY INSTALLATION.
- UTILITIES**
THE CONTRACTOR'S ATTENTION IS CALLED TO ALL PIPING AND UTILITIES. NOT ALL PIPING OR UTILITIES HAVE BEEN SHOWN ON THESE PLANS. LINES SHOWN ARE FOR APPROXIMATE REFERENCE ONLY. CONTRACTOR SHALL CHECK WITH UTILITY REPORTING SERVICES AND/OR THE CONSTRUCTION MANAGER OR OWNER'S REPRESENTATIVE PRIOR TO BEGINNING PLANTING OPERATIONS.
- DRAINAGE**
THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING THE OWNER'S REPRESENTATIVE IF IMPERVIOUS DRAINAGE CONDITIONS ARE ENCOUNTERED PRIOR TO PLANTING.
- WATERING**
THE LANDSCAPE CONTRACTOR SHALL THOROUGHLY WATER ALL NEW PLANTINGS SO AS TO SATURATE THE ENTIRE ROOT BALL AT THE TIME OF INSTALLATION. ADDITIONAL WATERING SHALL BE PROVIDED BY THE CONTRACTOR AS REQUIRED BY PLANT AND WEATHER CONDITIONS UNTIL FINAL ACCEPTANCE OF THE PLANTING INSTALLATION.
- PLANTING DETAILS**
 - MULCH**
MULCH SHALL BE TWO INCHES OF SHREDDED HARDWOOD OR CEDAR BARK OR OTHER MULCH AS APPROVED BY OWNER'S REPRESENTATIVE.
 - CONTAINER PLANTS**
THE LANDSCAPE CONTRACTOR SHALL SCARIFY THE SIDES AND BOTTOM OF THE ROOT BALL OF ANY CONTAINER GROWN PLANTS PRIOR TO PLANTING.
 - PLANTING BACKFILL MIX**
ALL PLANTING BACKFILL SHALL CONSIST OF 80% EXISTING SOIL AND 20% ORGANIC COMPOST TO BACKFILL. SEE PLANTING DETAILS FOR SUBJECT AREAS.
 - FERTILIZER AMENDMENTS**
ALL PLANTINGS SHALL BE TREATED WITH THE FOLLOWING SUPPLEMENTS.
 - APPLY "ROOTS 2" OR APPROVED EQUAL IN ACCORDANCE WITH MANUFACTURERS RECOMMENDED RATES. APPLY AFTER MULCHING OPERATIONS HAVE BEEN COMPLETED.
 - APPLY INITIAL TIME RELEASE FERTILIZER IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDED RATES. MINIMUM RELEASE PERIOD SHALL BE 6 MONTHS.
 - OBTAIN APPROVAL OF OWNER OR OWNER'S REPRESENTATIVE PRIOR TO APPLICATION OF FERTILIZER AMENDMENTS.
 - APPLY PRE-EMERGENT HERBICIDE TO ALL MULCHED AREAS IN ACCORDANCE WITH MANUFACTURERS APPLICATION INSTRUCTIONS.
 - ROOT BALLS**
ANY WIRE PLANTING BASKETS SHALL BE CUT TOP 1/3 ONLY FROM THE ROOT BALLS PRIOR TO BACKFILLING OF THE PLANTING PITS.
- EASTERN PROPERTY CLEARING - SOIL STABILIZATION SEED MIX BY ERNST SEEDS (800-873-3321; SALES@ERNSTSEED.COM) RIGHT OF WAY NATIVE WOODS MIX W/ ANNUAL RYE GRASS @ 30 LB PER ACRE.**



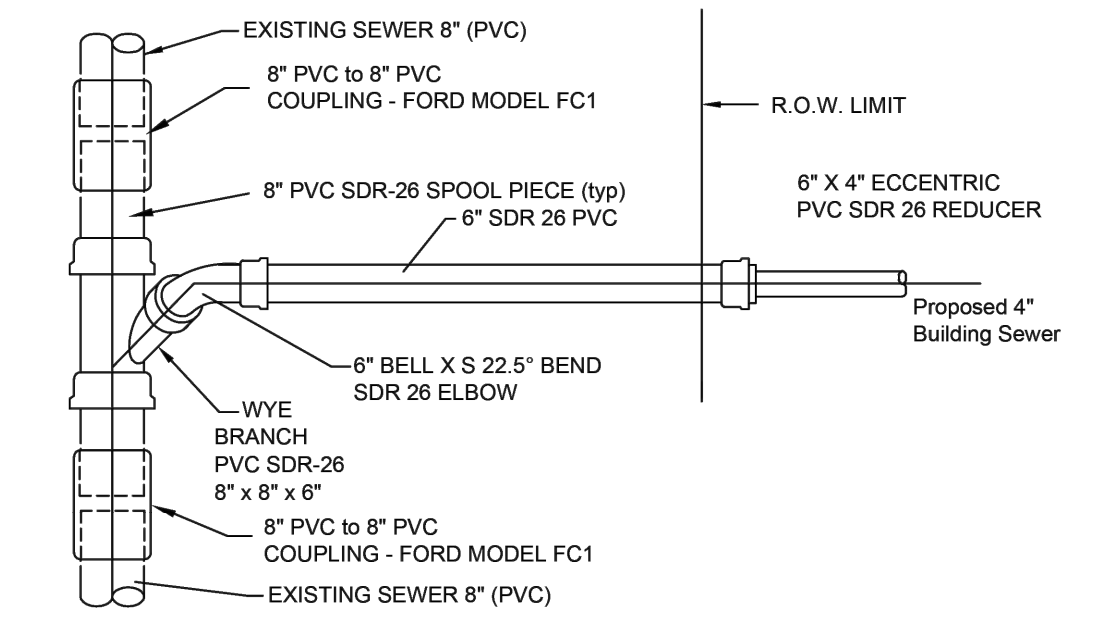
DECIDUOUS TREE PLANTING DETAIL
NOT TO SCALE



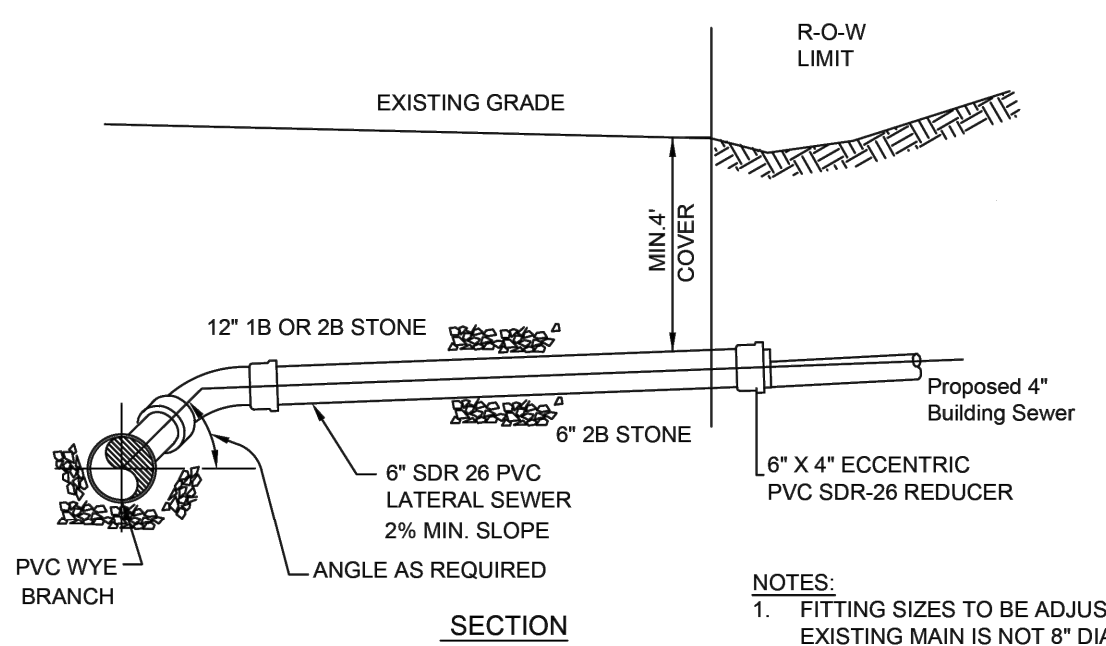
EVERGREEN TREE PLANTING DETAIL
NOT TO SCALE



SHRUB PLANTING DETAIL
NOT TO SCALE



PLAN



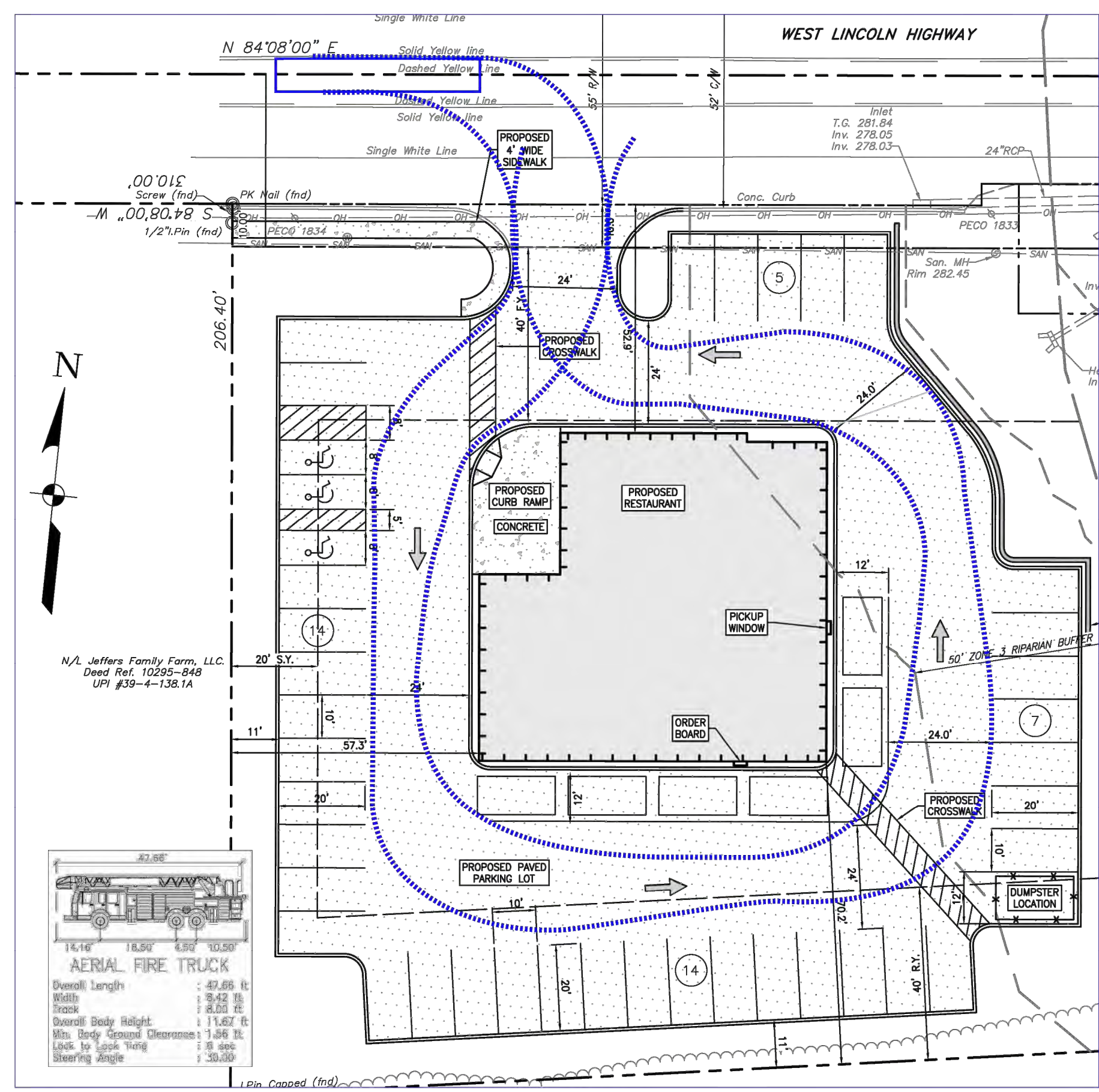
SECTION

- NOTES:**
- FITTING SIZES TO BE ADJUSTED IF EXISTING MAIN IS NOT 8" DIAMETER
 - IF PIPE OUTER DIAMETERS DO NOT MATCH, USE FORD MODEL FC2A COUPLING.

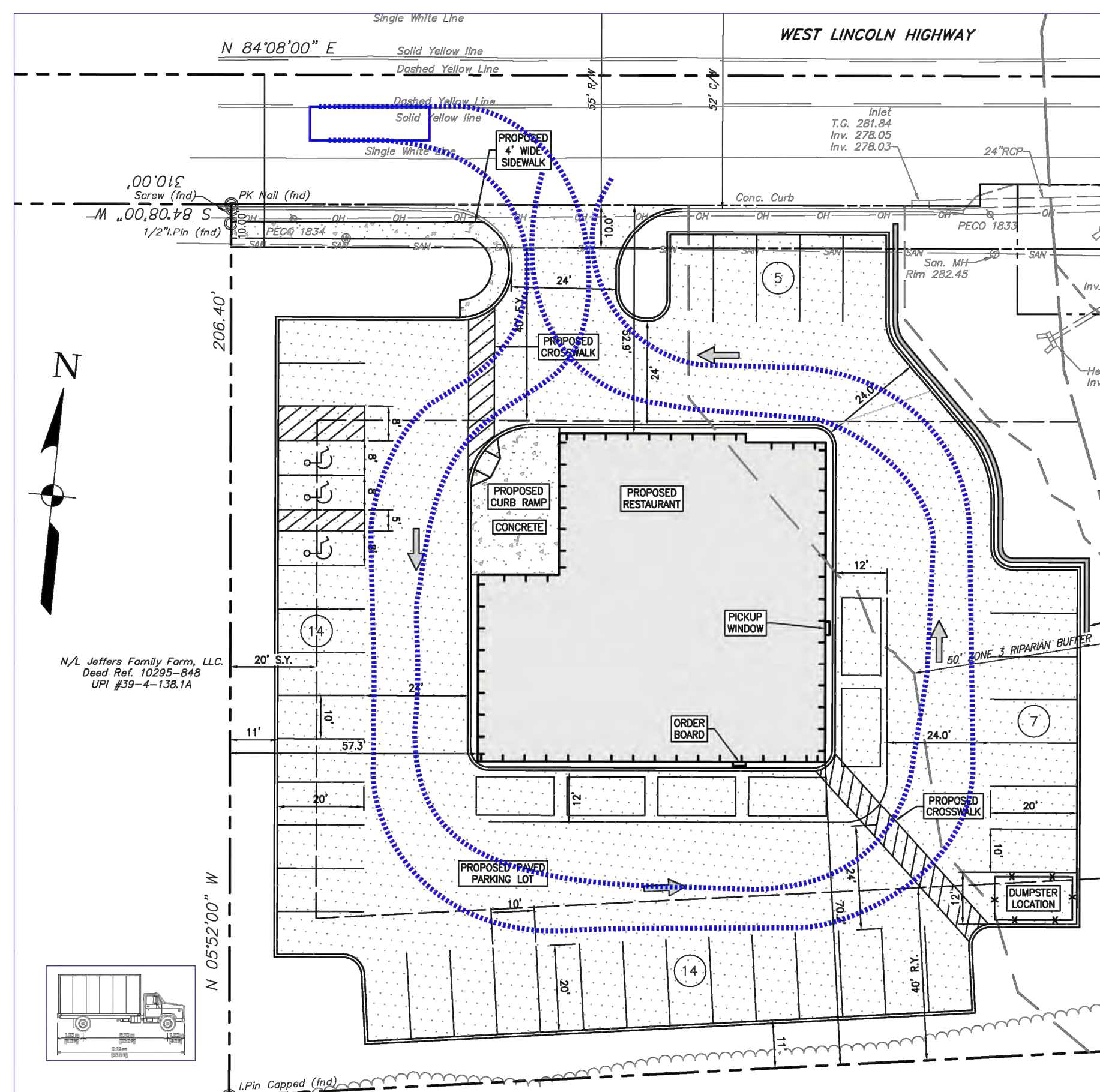
Caln Township
STANDARD DETAIL - SEWER SYSTEM

LATERAL CONNECTION TO EXISTING PVC SEWER MAIN

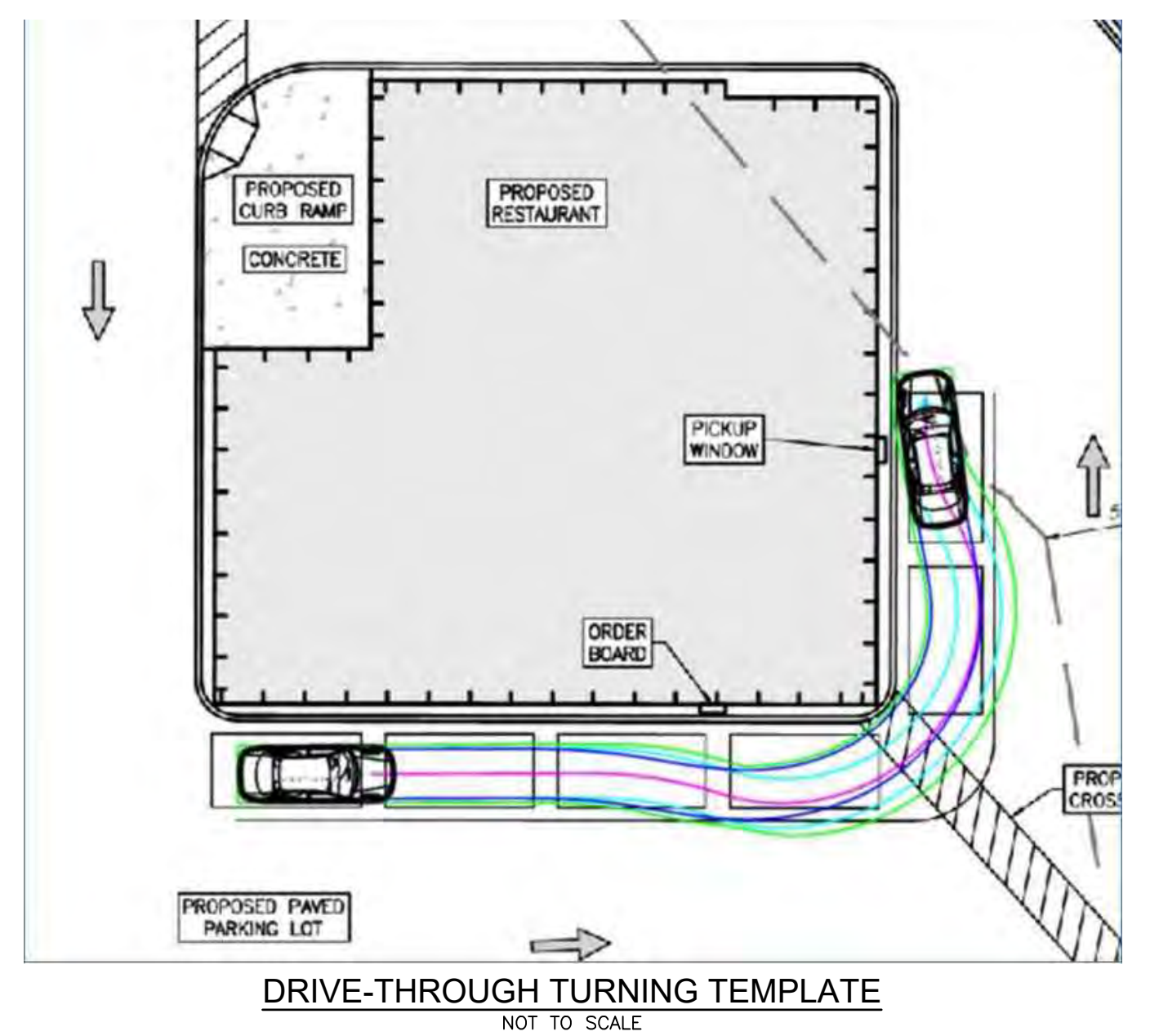
	DATE: JUNE 2022
	DETAIL: 26B



EMERGENCY VEHICLE TURNING TEMPLATE
NOT TO SCALE

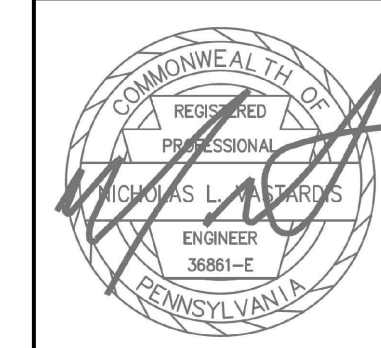


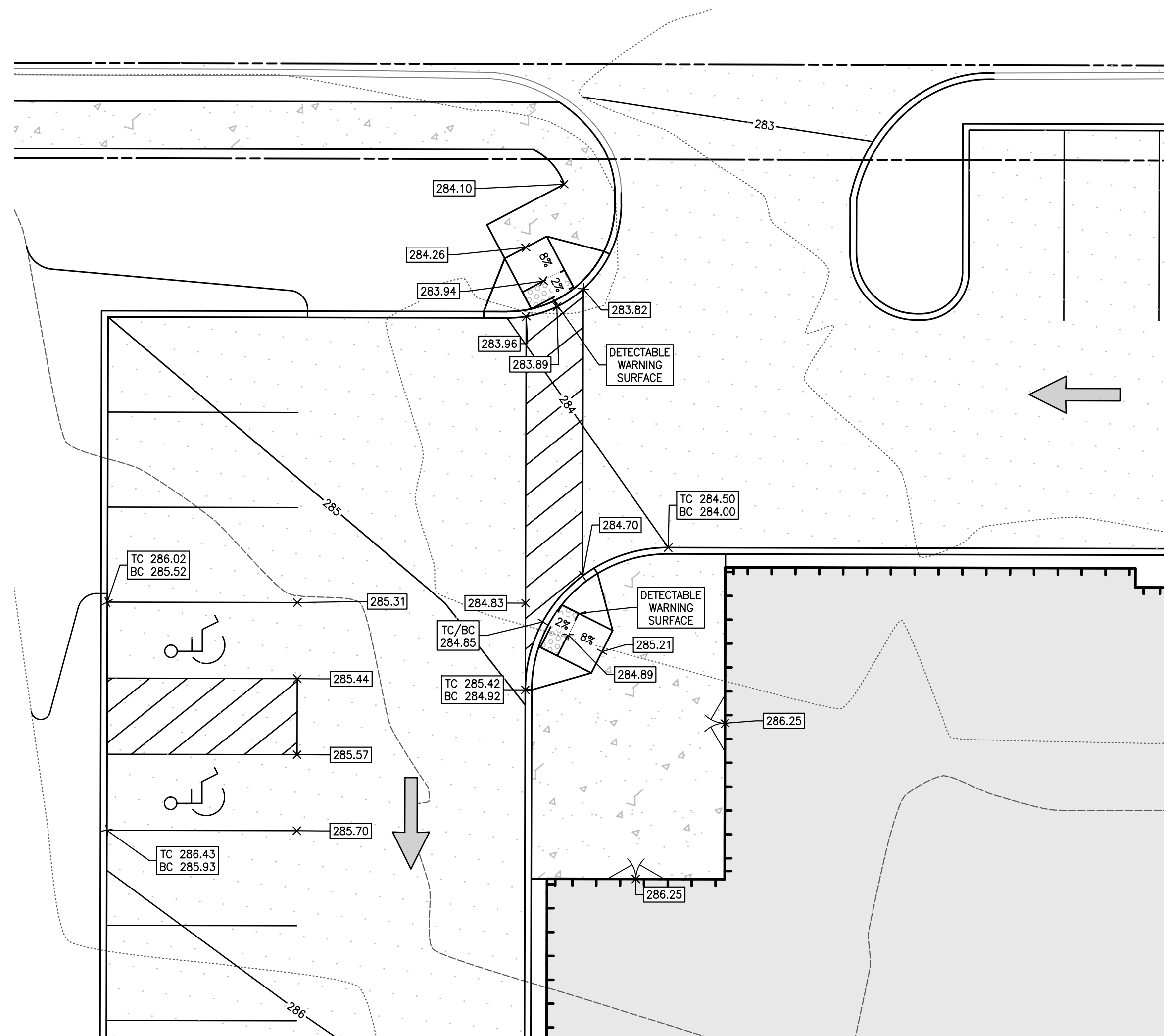
DELIVERY TRUCK TURNING TEMPLATE
NOT TO SCALE



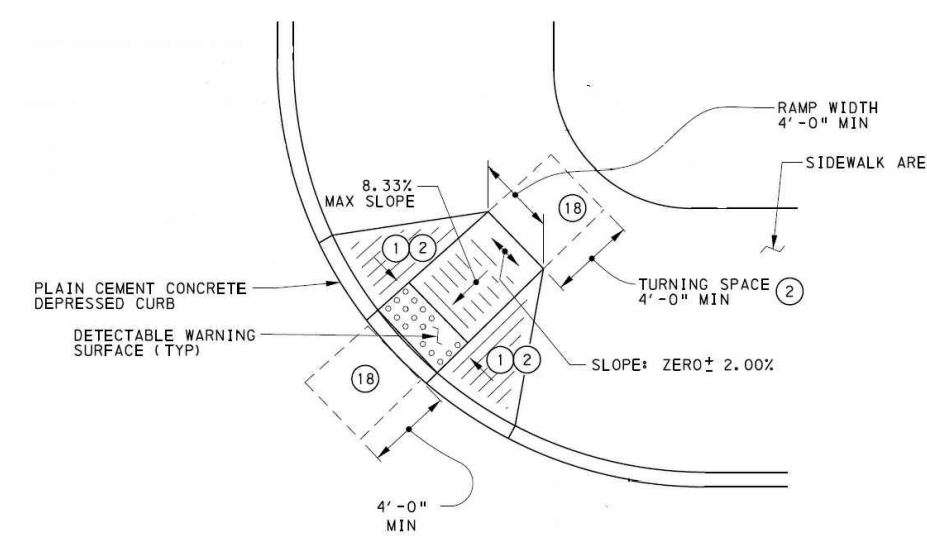
DRIVE-THROUGH TURNING TEMPLATE
NOT TO SCALE

1	12/7/2023	REVISED PER TOWNSHIP REVIEW LETTERS
NUM.	DATE	REVISION
VASTARDIS CONSULTING ENGINEERS, LLC 29 Harvey Lane Malvern, PA 19355 Ph: 610.644.9663 Fx: 610.644.3789 Email: vce@vaston.net		
PLAN PREPARED FOR:		
DPP2022 PROPERTIES LLC 4000 WEST LINCOLN HIGHWAY CALN TOWNSHIP • CHESTER COUNTY • PENNSYLVANIA		
DRAWN BY	ii	
CHECKED BY	NV	
DATE	6/30/2023	
SCALE	AS NOTED	
PRELIMINARY / FINAL		
SHEET		
10		
of 11		

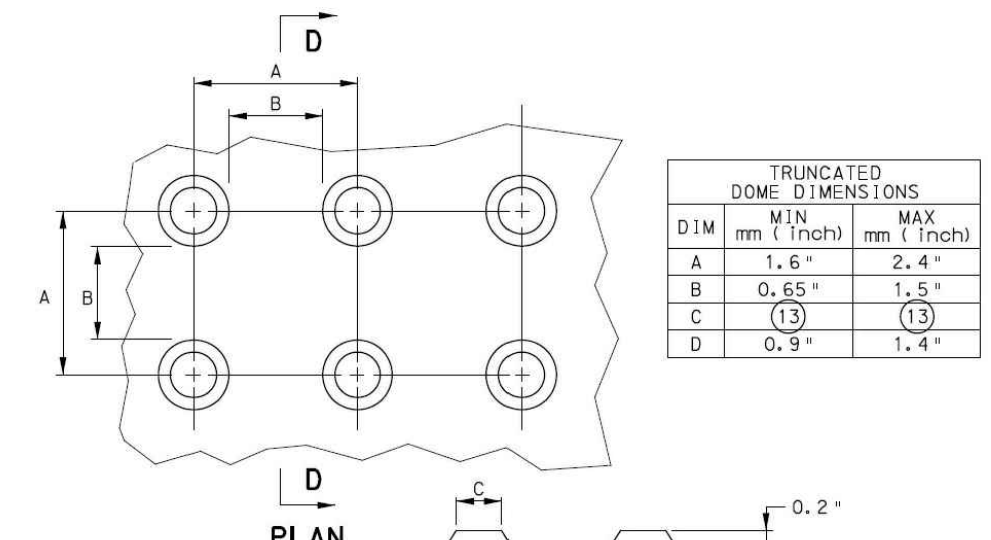




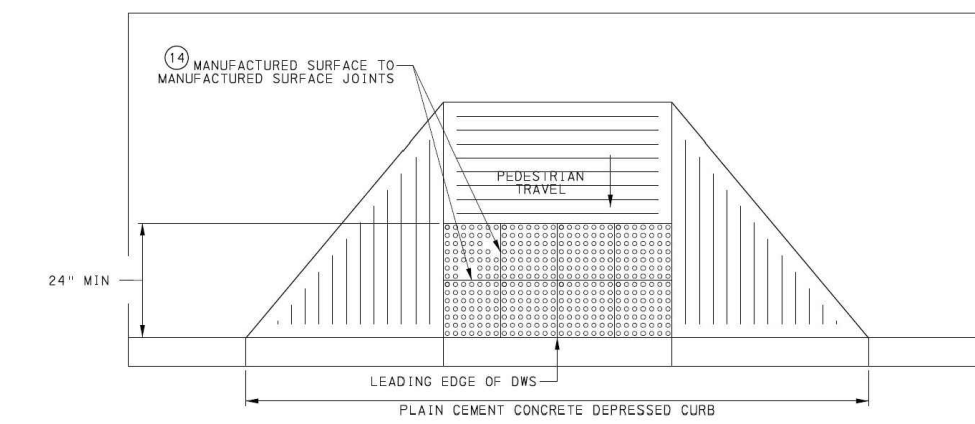
**ADA PARKING SPACES AND CURB RAMP
GRADING DETAIL**
SCALE: 1" = 10'



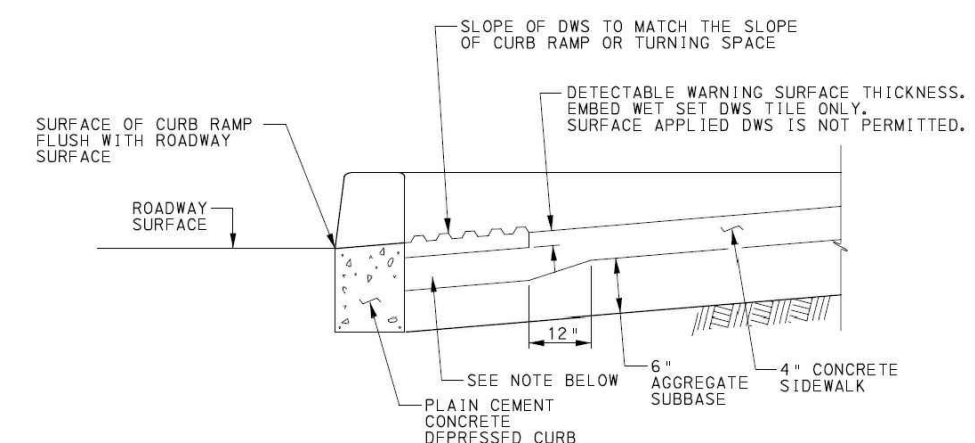
TYPE 1 CURB RAMP
TYPE 1 CURB RAMP DETAIL
(REFER TO PENNODT RC-67 DETAILS)
NOT TO SCALE



TRUNCATED DOME DETAILS
DETECTABLE WARNING SURFACE (DWS)
TRUNCATED DOME DETAILS



**DETECTABLE WARNING SURFACE (DWS)
ON TYPE 1 CURB RAMP**

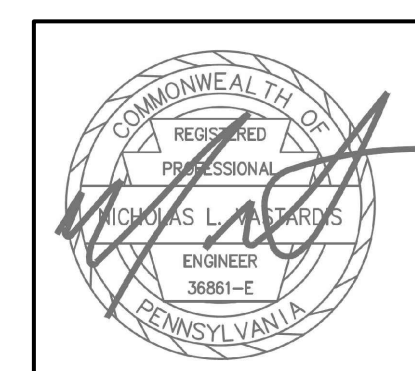



**DETECTABLE WARNING SURFACE
EMBEDDING DETAIL**

NOTES

1. DETECTABLE WARNING SURFACES SHALL BE INSTALLED ON ALL CURB RAMPS

DETECTABLE WARNING SURFACE DETAIL
(REFER TO PENNODT RC-67 DETAILS)
NOT TO SCALE



1	12/7/2023	REVISED PER TOWNSHIP REVIEW LETTERS
NUM.	DATE	REVISION
 VASTARDIS CONSULTING ENGINEERS, LLC <small>29 Harvey Lane Malvern, PA 19355 Ph: 610.644.9663 Fx: 610.644.3789 Email: vcelc@verizon.net</small>		
PLAN PREPARED FOR: DPP2022 PROPERTIES LLC 4000 WEST LINCOLN HIGHWAY CALN TOWNSHIP • CHESTER COUNTY • PENNSYLVANIA		DRAWN BY: iii CHECKED BY: NV DATE: 6/30/2023 SCALE: AS NOTED
PRELIMINARY / FINAL		SHEET 11 <small>of 11</small>
NOTES AND DETAILS		



ARRO Consulting, Inc.
1450 East Boot Road, Ste 100B
West Chester, PA 19380
P: (484) 999-6150

VIA ELECTRONIC MAIL

January 9, 2024

Raymond Stackhouse, BCO, Director
Caln Township
Department of Building & Life Safety
253 Municipal Drive
P.O. Box 72149
Thorndale, PA 19372

RE: 4000 West Lincoln Highway (The Farmhouse)
Land Development Review
Caln Township
ARRO No.: 11243.41

Dear Raymond:

As requested, ARRO has completed a review of the Preliminary/Final Land Development Application for 4000 West Lincoln Hwy for the construction of The Farmhouse. The 2.6-acre tract (UPI No. 39-4-138.1) is located on the south side of W. Lincoln Highway, east of the intersection of Bondsville Road and Lincoln Highway within the TV-1 Thorndale Village District, the Lincoln Highway Overlay District Zone 1, and the Carbonate Geology Overlay District. The site is currently vacant with remnants from a previous commercial use including access from Lincoln Highway, asphalt parking lot, brick patio, concrete pad, and stormwater management basin.

The Plan proposes construction of a restaurant with a drive-through, parking areas and subsurface stormwater infiltration beds.

The following information was received by ARRO:

- Preliminary /Final Land Development Plans for The Farmhouse consisting of eleven (11) sheets prepared by Vastardis Consulting Engineers, LLC, dated June 30, 2023, last revised December 7, 2023 (Plan).
- Response letter dated December 8, 2023, and prepared by Vastardis Consulting Engineers, LLC.
- Response letter dated December 7, 2023, and prepared by Albert Federico Consulting, LLC.
- Pennsylvania America Water Will Serve Letter dated April 4, 2023.
- Email correspondence regarding the existing Shell PLC pipeline and easement.

Corporate Headquarters - 108 West Airport Road, Lititz, PA 17543
P: (717) 569-7021 | www.arroconsulting.com

I. APPLICABLE ORDINANCES

The plans and reports have been reviewed for compliance with Caln Township Code:

- Chapter 88 – Grading, Erosion and Sediment Control
- Chapter 135 – Stormwater Management
- Chapter 137 – Subdivision and Land Development
- Chapter 155 – Zoning

II. CONDITIONAL USE

A. On May 25, 2023, the Board of Commissioners (Board) approved a conditional use application pursuant to Section 155-26.C(9) of the Ordinance to allow the development of a commercial drive-through establishment associated with the proposed The Farmhouse restaurant on the Property pursuant to the conditions set forth hereinbelow:

Comments have been offered where appropriate.

- 1. The commercial drive-through establishment shall be developed in accordance with the testimony and evidence presented at the conditional use hearings and the Revised Plans as such plans are further revised to comply with the conditions of approval imposed herein and to obtain final land development approval from the Board.*
- 2. The Revised Plans shall be revised to comply with all outstanding comments from the following Township consultants' review letters:*
 - Letter dated March 29, 2023, from Pennoni; and*
 - Letter dated January 10, 2023, from ARRO.*
 - Applicant shall demonstrate compliance with these letters to the satisfaction of the respective Township consultant prior to issuance of final land development approval from the Board.*

See comments below.

- 3. Applicant shall obtain all necessary permits from the Township and all applicable government agencies in order to develop the Property with the commercial drive-through in accordance with the Plan, including, but not limited to, an NPDES permit, Planning Module Approval, or an exemption from the same, and approval from the CTMA for the proposed sewage connection.*

Applicant shall provide copies of all applicable permits, approvals and/or exemptions, including, but not limited to, sewage facilities planning module or exemption.

4. *If Applicant encounters carbonate rock or sinkholes during site development excavation activities, she shall adhere to the recommendations described in the report dated March 16, 2023, titled "Carbonate Assessment/Karst Investigation" which recommended that any carbonate rock interface be cleared to expose all potential throat openings and then the area be flushed and capped with flowable concrete fill.*
5. *Applicant shall install sidewalk along W. Lincoln Highway in the location depicted on the Plan admitted as Exhibit A-3. The specifications for the sidewalk shall be approved by the Board during land development but Applicant shall be required to install brick inlay similar to the sidewalk that was recently installed along Lincoln Highway in front of The Campus. Applicant shall also grant to the Township and/or PennDOT the necessary easement to allow a future extension of the sidewalk along the entire property frontage on W. Lincoln Highway. The location and dimension of the sidewalk easement shall be approved by the Board as part of the land development. If the Applicant or her successor in title to the Property develops the eastern portion of the Property in the future, she, or her successor in title to the Property, shall be required to install sidewalk along the entire property frontage on W. Lincoln Highway.*

The sidewalk construction detail(s) shall include the required brick inlay.

6. *Applicant shall provide energy efficient lighting fixtures that meet the Illuminating Engineering Society illumination standards for commercial uses and Ordinance requirements. The IES standard in effect at the time of the final plan approval shall apply.*

The Applicant must provide notes and/or details on the Lighting Plan to demonstrate compliance with this condition.

7. *Applicant shall connect the new building to public sewer and comply with all the requirements of the CTMA and pay all applicable fees for additional sewer capacity and sewer connection.*

ARRO defers to Caln Township Municipal Authority (CTMA) with respect to this condition.

8. *Applicant shall offer additional right of way or an easement to PennDOT or the Township along the southern side of W. Lincoln Highway in the width approved by the Township engineer and Board as part of land development.*

The Plan shall include a formal offer of dedication for the area between the existing title line(s) and proposed right-of-way line. The labels on the Plan are inconsistent with the response letter from Albert Federico.

9. *Applicant and its successors and assigns in interest to the Property shall be strictly bound by:*
 - a. *All the representations, warranties and commitments made by or on behalf of the Applicant and the testimony, plans or other exhibits that were introduced into the record on these proceedings whether or not express reference is made to said representations, warranties, and commitments in the Decision; and*
 - b. *All the foregoing conditions of approval.*

III. REVIEW COMMENTS

We offer the following comments for your consideration:

A. Chapter 135 – Stormwater Management

1. *§135-111: Waivers*
 - B. *The governing body shall have the authority to waive or modify the requirements of one or more provisions of this chapter if the literal enforcement will exact undue hardship because of peculiar conditions pertaining to the land in question, provided that such modification will not be contrary to the public interest and that the purpose and intent of the ordinance is observed. Cost or financial burden shall not be considered a hardship. Modification may also be considered if an alternative standard or approach can be demonstrated to provide equal or better achievement of the results intended by the ordinance. A request for modification shall be in writing and accompany the SWM site plan submission. The request shall state in full the grounds and facts on which the request is based, the provision or provisions of the ordinance involved and the minimum modification necessary.*

The Plan lists several waiver requests on sheet 2. A formal waiver request letter shall be provided in accordance with this section. The letter shall include the grounds and facts on which each request is based, the specific provision(s) of the ordinance involved and the minimum modification necessary.

2. *§135-306H: A detailed soils evaluation of the site shall be conducted by a qualified professional and at a minimum shall address soil permeability, depth to bedrock, and subgrade stability.*

Soils shall be evaluated in the area of proposed infiltration BMP 1. The testing provided in the area of BMPs 2 and 3 may not be representative of conditions at BMP 1. The Plan shall include a note to require that additional soil testing must be conducted in the area of BMP 1 at the time of construction. The testing shall be conducted by a qualified professional and must be witnessed by the Township Engineer. The testing shall include soil

permeability, depth of the test, and depth to limiting zone (if found). The required parameters (permeability, depth, and depth to limiting zone) shall also be noted on the Plan. If the BMP cannot be installed as designed, then an alternate design must be provided. The alternate design must be reviewed and approved by the Township Engineer prior to installation.

3. *§135-306J(2): Be set back at least 10 feet from all buildings and features with subgrade elements (e.g., basements, foundation walls, etc.), and 15 feet from property or right-of-way lines unless a letter is provided by a geotechnical engineer or professional soil scientist recommending the placement of the feature at shorter distance or otherwise approved by the Township Engineer.*

The Applicant has requested that BMP 2 have a setback of 10 feet from the proposed pedestrian easement/ultimate right-of-way. This section provides for the requested relief without the need for a formal waiver from the Board of Commissioners.

4. *§135-306Q: All infiltration practices shall have appropriate positive overflow controls.*

The Applicant shall provide calculations to demonstrate that each BMP will have an overflow to safely bypass flow from larger storms. At a minimum, the bypass shall provide for the peak inflow rate from all contributory areas during a 100-year storm assuming no infiltration.

5. *§135-310G: Adequate erosion protection and energy dissipation shall be provided along all open channels and at all points of discharge. Design methods shall be consistent with the Federal Highway Administration Hydraulic Engineering Circular Number 11 (Publication No. FHWA-IP-89-016, as amended) and the PADEP Erosion and Sediment Pollution Control Program Manual (Publication No. 363-2134-008, as amended), or other design guidance acceptable to the municipal engineer.*

Design calculations or charts shall be provided for the proposed energy dissipaters.

6. *§135-311.C: Minimum grade, size, and cover. All storm drainpipes shall be designated to maintain a minimum grade of 1% unless otherwise approved by the Board of Commissioners. All storm pipes, other than those used for roof drains and street subbase underdrains, shall have a minimum inside diameter of 18 inches. All storm sewers shall have a minimum cover of 18 inches from the top of pipe to finished grade. The specifications for the pipe materials shall be determined by the Township Engineer based upon a schedule of acceptable pipe materials which shall be adopted by the Board of Commissioners by resolution, which may be amended from time to time. All pipe backfill details must be approved by the Township Engineer.*

Storm drainpipes shall have a minimum slope of 1% and a minimum diameter of 18 inches. If the Applicant intends to request a waiver from the Board of Commissioners, then a formal waiver request letter shall be provided in accordance with §135-111. The request for relief, both on the Plan and in the waiver request letter, also shall refer to the minimum slope(s) if any will be less than the required 1%.

7. *§135-402: A note on the maps shall refer to the associated computations and erosion and sediment control plan by title and date. The cover sheet of the computations and erosion and sediment control plan shall refer to the associated maps by title and date.*

The Plan and the Report cross reference notes shall be updated with the latest date and revision prior to final approval.

8. *§135-703: Operation and Maintenance Agreements.*

A stormwater management Operation and Maintenance Agreement must be completed, executed, and submitted to the Township prior to the execution and recording of the Final Plans.

C. Chapter 137 – Subdivision and Land Development

9. *§137-9: General Procedure.*

The Applicant has presented the Plan as a combined preliminary/final plan. The Applicant shall provide a formal waiver request letter for modification of the general procedural requirements of this section.

10. *§137-16.C.11: Accurate boundary lines, with dimensions and bearings, which provide a survey of the tract, closing with an error of not more than one foot in 10,000 feet.*

Legal descriptions for both the right-of-way to be offered for dedication and the residual lot must be provided to the Township Engineer for review.

11. *§137-16Q: One of the following for guaranteeing improvements:
(1) A certificate from the developer, signed by the Board of Commissioners, that all improvements, installations and as-built plans in the subdivision or land development required by this chapter have been made or installed in accordance with specifications; or
(2) A bond, certified check or other security, or guaranty satisfactory to the Board of Commissioners and the Township Solicitor, which shall...*

The Applicant shall enter into a financial security agreement with Caln Township to guarantee project improvements, which shall be executed prior

to execution and recordation of the Final Plan. A cost estimate shall be provided for review.

12. *§137-29B: Where a subdivision or land development is traversed by a watercourse, drainageway channel or stream, there shall be provided a drainage easement conforming substantially to the line of such watercourse, drainageway, channel or stream and of such width as will be adequate to preserve the unimpeded flow of natural drainage, or for the purpose of widening, deepening, relocating, improving or protecting such drainage facilities or for the purpose of installing a stormwater sewer.*

The Plan shall show a drainage easement of appropriate width to preserve the unimpeded flow of the natural watercourse. A note shall be added to the Plan to indicate that the riparian buffer zone 2 will be considered a drainage easement as required by this section.

13. *§137-31C: All subdivisions or land developments proposing the construction of residential housing units of any kind, or commercial or industrial development, shall be required to set aside and reserve 0.076 of an acre for each proposed residential dwelling unit and 0.03 of an acre for each 1,000 square feet of nonresidential gross floor area for the community facilities specified in §137-31B unless the Board of Commissioners approves the payment of a fee in lieu thereof as provided for in §137-31E.[1] Such areas shall be retained in private ownership by a homeowners' association or similar entity (unless dedication to the Township or recognized conservation organization is approved by the Board of Commissioners) but shall be subject to a recorded declaration of covenants, easements and restrictions approved by the Township Solicitor restricting such land to use in perpetuity only for such purposes.*

The Applicant shall provide the required 0.03 acre per 1,000 square feet of floor area (0.163 acre) for community facilities or open space or, if approved by the Board of Commissioners, pay fee in lieu thereof.

14. *§137-54: Final as-built plans.*

The as-built plan note on sheet 2 shall be updated to include reference to this section of the subdivision and land development ordinance (§137-54).

D. Chapter 155 – Zoning

1. *§155-43.F.(1): Streetlighting. Properties in Zone 1 may install lights on the building in lieu of streetlights, subject to approval of the Board of Commissioners. Properties in Zone 2 of the overlay district shall install streetlights at consistent intervals as approved by the Board of Commissioners.*

The property is within the Lincoln Highway Overlay District, Zone 1. The Applicant proposes that the existing streetlights remain, and that site lighting be added as shown on the Plan. The existing lights shall be shown on the Plan. ARRO defers to the Board of Commissioners with respect to streetlighting.

2. *155-43.G: When redevelopment of an existing property, building or structure within the Lincoln Highway Overlay District is proposed or any new use of an existing structure or building is introduced, the Board of Commissioners may approve the following incentives or modifications of the standards that would otherwise apply pursuant to this chapter or the Caln Township Subdivision and Land Development Ordinance.*

If the Applicant intends to request relief under this section, a formal waiver request letter shall be provided to describe the specific provision(s) of the ordinance and the requested modification.

3. *§155-79.B(8): Interior traffic circulation shall be designed so as to minimize traffic congestion at points of ingress and egress and to promote public safety for those patrons parking or using the commercial drive-through feature. Fire lanes shall be clearly established, as required by the Caln Township Fire Code,[1] as amended. The required loading and unloading zones shall be designed to minimize interference with interior traffic circulation and parking facilities, unless the Board of Commissioners, in its sole discretion, approves an alternative design provided by the applicant in its conditional use application (or, in the case of a special exception application, by the Zoning Hearing Board), establishing that loading and unloading will take place during off hours.*

The vehicle details provided on sheet 10 are not legible. The drive-through turn template appears to show that it will be difficult for drivers to reach the pickup window without additional guidance around the corner of the building. Applicant may consider moving the order board or pickup window or adding paint lines, bollards and/or markers to the drive-through lane to guide vehicles into appropriate positions at the order board and pickup window.

4. *§155-79.B(13): Exterior storage areas for trash and rubbish shall be properly screened with secured fencing and landscaping materials. All containers shall be airtight, vermin-proof and have adequate storage capacity to accommodate the projected volumes of solid waste. No such storage area will be permitted within 25 feet from any lot line.*

The dumpster enclosure detail on sheet 9 is inconsistent with the plan as to proposed dimensions of the enclosure. The detail also is inconsistent between plan and detail as to the fence post spacing.

5. *§155-115.A(1): No fence, wall and/or hedge shall be erected or planted within or encroaching upon the legal or ultimate street right-of-way or floodway. No*

fence, wall and/or hedge shall be erected or planted within or encroaching upon a utility easement or drainage easement unless the easement agreement which creates the easement specifically allows such encroachment.

The Plan proposes a retaining wall across the existing sanitary sewer easement. The Applicant must coordinate with CTMA regarding this proposed encroachment.

6. *§155-124.C(2): The lighting plan shall include a schematic layout of all proposed exterior fixture locations, ISO footcandle data and a plat demonstrating intensities and uniformities within the limitations established within this section of the Code, as well as the manufacturer's description of the equipment (catalog cuts), glare control devices, lamps, mounting heights and means, proposed hours of operation of the lighting and maintenance schedule. Illumination intensities shall be plotted on a ten-foot-by-ten-foot grid.*

Details for the lighting such as catalog cuts, glare control devices, lamps, mounting heights and means, proposed hours of operation of the lighting, and maintenance schedule must be added to the Lighting Plan.

7. *§155-124.D(1): Lighting facilities located within off-street parking areas and loading areas for all uses and developments requiring exterior lighting, or in connection with signs and recreational and institutional activities, shall provide an illumination level utilizing the current recommended standards of the Illuminating Engineering Society of North America (IESNA) except as otherwise required by the provisions of this Code.
And §155-124.D(3): Where exterior illumination is required to comply with this Code, the most current intensities and uniformity ratios, as established in the Lighting Handbook of the Illuminating Engineering Society of North America (IESNA), shall apply.*

The Plan shall include notes confirming conformity with the requirements of these sections.

8. *§155-124.D(4): In no case shall illumination exceed 0.5 footcandle measured at the property lines, except at driveway entrances, provided the illumination at the cartway center line of the contiguous street shall not exceed 1.0 footcandle, unless a more stringent standard is ordered by the Board under the circumstances of each application.*

Shielding shall be provided to limit illumination at the property lines to no more than 0.5 footcandle.

9. *§155-124.E(3): With the exception of all security lighting, all exterior lighting for any commercial, industrial, institutional, and recreational use shall be reduced by 50% between the hours of 10:00 p.m. and 6:00 a.m.*

And §155-124.E.(11): With the exception of all-night operations, lighting for commercial, industrial, municipal, recreational, and institutional uses shall be controlled by automatic switching devices, such as time clocks or combination motion detectors and photocells, to permit the reduction of exterior lighting by 50% between the hours of 10:00 p.m. and 6:00 a.m. in order to mitigate nuisance glare and sky lighting consequences.

The Plan shall include notes consistent with the requirements of these sections.

10. §155-138: *Off-street loading areas. Retail sales, professional service establishments, restaurants, shopping centers, mini malls, and other commercial uses, 5,000 to 25,000 square feet:*
2

Two (2) off-street loading areas shall be provided consistent with the requirements of this section. The applicant has requested that the Board eliminate this requirement based on the type and timing of deliveries for the proposed use. The Applicant shall provide a formal letter to request for the desired relief including appropriate justification.

E. Caln Township Building and Life Safety Comments

11. Provide water modeling and fire flow information and data for consistency with requirements of Section 137- 47 A, B, C, D, and G, Appendix B Section B105.1 and Table B105.1 and Section 507 of the 2018 International Fire Code.

F. General Comments

12. All signature blocks within the Plan should be signed/dated and notarized as appropriate, prior to recording.
13. All legal instruments, as determined necessary and appropriate by the Township Solicitor, should be submitted for review and approval by the Township Solicitor prior to recording. For each legal instrument requiring a legal description (and accompanying plat, if determined necessary by the Township Solicitor), such legal description (and accompanying plat, if appropriate) should be provided to the Township Engineer for review and approval prior to recording

IV. Additional Reviews and Approvals

The comments contained in the following review letters must be addressed prior to final plan approval:

- Gilmore & Associates, Inc. review letters dated December 15, 2023, and January 3, 2024.
- Pennoni review letter, pending.

Please submit your response package (letter, plans, etc.) electronically (PDF) to Caln Township and to ARRO.

Please note, a revised submission may generate further review comments. Once we receive the revised information addressing the comments in this letter, ARRO will confirm that the application is compliant with the Caln Township Ordinances.

Please do not hesitate to contact me via email at lowell.leaman@arroconsulting.com or by phone with any questions.

Sincerely,



Lowell B. Leaman, P.E.
ARRO Consulting, Inc. – Township Engineer

LBL:law

- c: Elizabeth Nagy – Planning Commission Secretary
Kristin Camp, Esq. – Township Solicitor
Michael Schneider, P.E. – Township Traffic Engineer
Dana Petrizzio (Applicant) – dlabruna@comcast.net
Hudson Voltz (Applicant's Attorney) – hvoltz@gawthrop.com
Vastardis Consulting Engineers (Applicant's Engineer) – vcellc@verizon.net
Architetra (Applicant's Architect) – jmlombardi@architetra.com
Karl Schmit, P.E. – ARRO



GILMORE & ASSOCIATES, INC.
ENGINEERING & CONSULTING SERVICES

January 3, 2024

Scot Gill, Director of Wastewater Operations
Caln Township
253 Municipal Drive
Thorndale, PA 19372

**Reference: Preliminary/Final Land Development
Farmhouse Restaurant – 4000 W. Lincoln Highway
Sanitary Sewer Plan Review (3)**
File No. 23-09020

Dear Scot:

In accordance with the Township's request, we have completed our review for the above-referenced project, relative to sanitary sewer service. The reviewed items consist of the following:

- Sewage Planning Exemption Request documents dated 12/27/23, prepared by Vastardis Consulting Engineers, LLC.

This submission did not include any site plans; for current review comments relating to the site plans, refer to our previous letter dated December 15, 2023. We offer the following review comments for your consideration relating to the sewage planning documents:

1. PADEP Act 537 sewage planning approval or exemption therefrom is required. Water use data and wastewater flow projections were submitted and were found to be acceptable. The revised Sewage Facilities Planning Module mailer form and project narrative have been reviewed and are generally acceptable. Since the sewage planning documents indicate that two additional EDUs of sewer capacity are required, the applicant should contact the Caln Township Municipal Authority to execute a sewer capacity reservation agreement.

Then, after that agreement is signed and prior to the exemption request form being signed by CTMA, the applicant shall obtain capacity approvals from both the Downingtown Area Regional Authority (DARA) and Pennsylvania American Water Company (PAWC). After those capacity certifications are provided to the Authority, the sewage planning exemption request can be signed by the Authority. The applicant is responsible for subsequently submitting the exemption request to PADEP. When PADEP planning approval or exemption therefrom is obtained, a note to that effect should be added to the plan (including the PADEP code / tracking number).

Should you have any questions or need further information, please feel free to contact me at 610-489-4949 or rbickhart@gilmore-assoc.com.

Very truly yours,

Ross A. Bickhart, P.E.
Senior Project Manager
Gilmore & Associates, Inc.

cc: Caln Township / Consultants Group (via email)
Vastardis Consulting Engineers, LLC, Applicant's Engineer (via email)
DPP2022 Properties LLC, Applicant (via email)

184 W. Main Street, Suite 300 | Trappe, PA 19426 | Phone: 610-489-4949

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January 9, 2024

CALNT22109

Caln Township

Attn: Raymond Stackhouse, Director
253 Municipal Drive
Thorndale, PA 19372

**RE: The Farmhouse – 4000 Lincoln Highway
Preliminary/Final Land Development Traffic Review**

Dear Raymond:

As requested, we have reviewed the following regarding the referenced submission:

- *“Preliminary/Final Land Development Plans – 4000 Lincoln Highway”*, prepared by Vastardis Consulting Engineers, LLC., dated June 30, 2023, revised December 7, 2023; 11 sheets.
- *“Traffic Impact Assessment for The Farmhouse – 4000 Lincoln Highway”*, prepared by Albert Federico Consulting, LLC., dated September 5, 2023.

The applicant proposes a restaurant with drive-thru service in the Thorndale Village (TV-1) zoning district (Parcel No. 39-4-138.1). The proposed development includes construction of a coffee/donut shop with a drive-thru for pick-up service on a 2.095 acre lot. Access to the site is proposed via one driveway along Lincoln Highway.

We offer the following comments (*new comments in bold italics*):

1. Per §155-79.B(8), Interior traffic circulation shall be designed so as to minimize traffic congestion at points of ingress and egress and to promote public safety for those patrons parking or using the commercial drive-through feature. Fire lanes shall be clearly established and the required loading zones shall be designed to minimize interference with interior traffic circulation and parking facilities.

Turning templates should be provided for vehicles circulating through the drive-through lane, including around the building corners to ensure vehicles queued in the drive-through lane do not block site circulation, notably since the site is limited to a one-way circulation pattern. Additionally, a loading area should be identified on the plans and the circulation exhibits included in the traffic study should be included in the planset, with additional information confirming that an SU-30 is the largest delivery vehicle that will access the site.

Turning templates for the drive-thru have been provided. The applicant should review the locations of the order board and pick-up window as it appears vehicles may have difficulty accessing those locations.

2. Per §155-117.C, Where a subdivision or land development application abuts or contains an existing street of inadequate right-of-way width or cartway width, the applicant shall dedicate additional right-of-way and improve the cartway to conform with the provisions of the Code or as directed by the Planning Commission and Board of Commissioners. The plans included a proposed right-of-way line that includes the proposed sidewalk. Should PennDOT not accept all or a portion of the proposed right-of-way, a sidewalk easement should be provided to allow public access to the proposed and future sidewalk.

The applicant indicates an easement will be offered along the property frontage. The plans indicate and offer of dedication for future right-of-way for the Township or PennDOT. The applicant should also identify the easement area on the plans.

3. Signage and striping should be shown on the plans. A stop bar and STOP sign should be added to the egress driveway leaving the site, additional directional signage is required to identify the one-way circulation, and it is recommended that the drive aisle north of the building include a STOP sign and stop bar where it intersects the egress driveway.

Outstanding.

If you have any questions or require additional information, please do not hesitate to contact me.

Sincerely,
PENNONI



Michael W. Schneider, PE
Township Traffic Engineer

cc: Kristin S. Camp, Esq. – Township Solicitor
Elizabeth Nagy – Department of Building and Life Safety
Lowell B. Leaman, PE – ARRO Consulting, Inc., Township Engineer
Dana Petrizzo - Applicant
Patrick M. McKenna, Esq. – Project Solicitor
Vastardis Consulting Engineers, LLC.– Project Engineer
Albert Federico, PE, PTOE – Project Traffic Engineer