

From: no-reply@weebly.com
Sent: Tuesday, April 06, 2021 11:02 AM
To: Caln Township Information
Subject: New Form Entry: Right to Know Request - Caln Township

You've just received a new submission to your [Right to Know Request - Caln Township](#).

[Mark as Spam](#)

Submitted Information:

Salutation

Mr.

Street Address

1104 North Bailey Road

Name

Robert Morrow

Address 2nd Line

Phone Number

City

Coatesville

State

PA

Zip Code

19320

Email

Received 4/6/21
ASwan

Check all that apply. I want copies of the records

1

Records Requested

Please send me all records for 1104 North Bailey Road.

Thanks Abbie

ALAN J. JARVIS, ESQUIRE
744 EAST LINCOLN HIGHWAY
COATESVILLE, PA 19320
610-384-1151
610-380-1392/Fax

September 25, 2003

James T. Owens, Esquire
25 South Church Street
West Chester, PA 19382-3220

**Re: Application of Tom Swift
Caln Township Zoning Hearing Board – No. 2003-17**

Dear Jim:

I am taking this opportunity to enclose for you a copy of the Decision and Order of the Caln Township Zoning Hearing Board. You will note that the Order, dated September 17, 2003, confirms the Action of the Zoning Hearing Board on September 4, 2003, in granting the following Variances to your Client:

1. A Variance from the minimum front yard requirement of 50 feet (50') at the street line (Section 155-27.B).
2. A Variance from the minimum front yard requirement of 125 feet (125') at the setback line (Section 155-27.C).
3. A Variance from the 10 foot (10') setback that is required for an access driveway (Section 155-142.H).

If you have any questions about the Board's Actions, you are certainly free to give me a call. You should also feel free, if necessary, to contact Caln Township Zoning Officer Andrew F. Reczek.

Sincerely,


Alan J. Jarvis

AJJ:mkc
Enclosure

cc: Mr. Andrew F. Reczek, Code Official/Zoning Officer, Caln Township Municipal Building, 253 Municipal Drive, Thorndale, PA 19372 (W/Return of Record)
Mr. Jeffrey W. McClintock, Director, Caln Township Department of Engineering and Code Enforcement, Caln Township Municipal Building, 253 Municipal Drive, Thorndale, PA 19372 (Enclosure)
Mr. Gregory Prowant, Caln Township Manager, Caln Township Municipal Building, 253 Municipal Drive, P.O. Box 72149, Thorndale, PA 19372 (Enclosure)
Mr. Stanley F. Bowman, Jr., Chairman, Zoning Hearing Board, 402 Municipal Drive, Thorndale, PA 19372 (Enclosure)

(Calnzhh/SwiftTom-Owens)

Alan J. Jarvis, Solicitor
744 East Lincoln Highway
Coatesville, PA 19320
610-384-1151
610-380-1392/Fax

Caln Township Zoning Hearing Board
Attorney I.D. No. 16134

RE: APPLICATION OF
TOM SWIFT

: BEFORE THE ZONING HEARING BOARD
: CALN TOWNSHIP, CHESTER COUNTY
: NO. 2003-17

DECISION

I. STATEMENT OF THE CASE

This matter comes before the Zoning Hearing Board of Caln Township, Chester County, Pennsylvania, on the Application of Tom Swift (hereinafter referred to as "Swift") for variances from the following provisions of the Caln Township Zoning Ordinance of 1999, as amended: (1) Section 155-27.B, which requires a minimum lot width of fifty feet (50') at the street line, (2) Section 155-27.C, which requires a minimum lot width of one hundred twenty-five feet (125') at the setback line, and (3) Section 155-142.H, which prohibits access driveways from being within ten feet (10') of any property line. Swift is in need of the requested variances in order to develop a "landlocked" lot to the rear of the property at 1106 North Bailey Road, Caln Township, Chester County, Pennsylvania. The property is in the R-2 Low-Density Residential District.

The Application was received at the Caln Township Municipal Building on July 15, 2003. The Hearing on the Application was scheduled for 7:00 p.m., Thursday, September 4, 2003. The date of the Hearing, which is beyond the sixty (60) days in which a Hearing must be held under the provisions of both the Municipalities Planning Code and the Caln Township Zoning Ordinance, was requested by Swift's attorney due to his (i.e. the attorney's) unavailability on the first Thursday of August (August 7, 2003). Zoning Hearings usually are scheduled for the first Thursday of the month. [See MPC, Section 908(1.2), and Zoning Ordinance, Section 155-163.A.] Swift's attorney waived both the MPC and the Zoning Ordinance provisions by letter dated July 24, 2003. Notices of the Hearing were thereupon mailed to Swift, James T. Owens, Esquire, Swift's attorney, the nearby property owners, a list of which accompanied the

Application, the Zoning Hearing Board Members, the Caln Township Planning Commission Members, the Zoning Officer, the Chester County Planning Commission, and the Court Reporter's Office, on August 13, 2003. That same day Hearing Notices were hand-delivered to the Caln Township Municipal Building for the Township Commissioners, Caln Township Manager, Township Secretary and Planning Commission Secretary. These services fulfilled the requirements of Section 155-163.A(3 and 4).

The Hearing Notice was published in the Daily Local News on August 14 and 21, 2003, as required by Section 155-163.A(3). The Notice requirements were completed with the posting of the property on August 25, 2003, as required by Section 908(1) of the Municipalities Planning Code. 53 P.S. 10908(1). On that date a copy of the Hearing Notice was posted on a post at the driveway entrance to the property on North Bailey Road.

The Hearing, scheduled for 7:30 p.m., commenced at approximately 7:40 p.m., at the Caln Township Municipal Building. Those in attendance included Stanley F. Bowman, Jr., Zoning Hearing Board Chairman, Eugene Martini and Harry Weyman, Zoning Hearing Board Members, Alan J. Jarvis, Zoning Hearing Board Solicitor, Andrew F. Reczek, Zoning Officer, Tom Swift, the Applicant, James T. Owens, Swift's attorney, and William H. Handy, Court Reporter.

At the commencement of the Hearing the following were marked as Board Exhibits:

<u>Exhibit</u>	<u>Description</u>
B-1	Caln Township Zoning Ordinance of 1999, as amended.
B-2	Current Caln Township Zoning Map.
B-3	Application of Tom Swift for variances from (1) Section 155-27.B, requiring a minimum lot width of fifty feet (50') at the street line, (2) Section 155-27.C, requiring a lot width of one hundred twenty-five feet (125') at the setback line, and (3) Section 155-142.H, prohibiting access driveways from being within ten feet (10') of any property line.
B-4	Fax transmission of 7/22/03, from Alan J. Jarvis, Zoning Hearing Board Solicitor, to James T. Owens, Esquire, attorney for Swift, requesting waiver of MPC Section 908(1.2) and Zoning Ordinance Section 155-163.A, in order to schedule

- B-5 Hearing more than sixty (60) days beyond Application date, as requested by Applicant's attorney.
 Fax transmission of 7/24/03, from James T. Owens, Esquire, to Alan J. Jarvis, ZHB Solicitor, waiving applicability of MPC Section 908(1.2) and Zoning Ordinance Section 155-163.A, with respect to Swift's Application.
- B-6 Hearing Notice.
- B-7 Proof of Publication in Daily Local News.
- B-8 Affidavit of Posting.
- B-9 Review letter dated August 25, 2003, from Andrew F. Reczek, Zoning Officer.

Swift was the only person sworn to give testimony concerning the Application. He testified that he purchased the parcel at Tax Sale on October 9, 1984, and that the Deed evidencing his ownership is recorded in the Office of the Recorder of Deeds of Chester County, Pennsylvania, in Deed Book X-64, Page 255. He also testified that the parcel is landlocked and that after his purchase he filed an Action before the Court of Common Pleas of Chester County (Case No. 93-03446), requesting that he be given the right to open a private road (driveway) across the property of Adrien Keifer that would provide his lot with a connection to North Bailey Road, a public road.

Swift further testified that on April 28, 1995, the jury of view that had been appointed in his case issued findings of fact and conclusions of law that authorized his opening of a private road along the northern boundary of Keifer's property, and to his parcel, which driveway was to be located within sixteen feet (16') of that northern boundary. On September 7, 2000, a second jury of view awarded Keifer damages for the private taking. The Court entered its final Order with respect to the award on October 30, 2001.

After the entry of the final Order, Swift commissioned a survey of his parcel and Keifer's, a copy of which was offered, and admitted, as Applicant's Exhibit "A-1." The survey, performed by Diehm & Sons, shows Keifer's property to be 414.14' in depth, and Swift's property to therefore be approximately 400' from the right-of-way of North Bailey Road, therefore making it impossible for the parcel to comply with either Section 155-27.B, requiring a minimum of 50' of lot frontage on a public road, since it has no frontage on any road, or Section

155-27.C(1), requiring a lot width of 125' at the setback line, where the setback line is the greater of 60' from the street right-of-way or 75' from the street centerline, and the parcel is approximately 400' from the street and well beyond any setback requirement.

The most controversial variance request was to establish the private road through Keifer's property. Although Keifer neither appeared herself or by counsel, her neighbor to the north, Doreen Jacoby, expressed concerns that the driveway was not paved and that a row of trees along the driveway was affected by the installation, to the point where branches were falling into her yard. Swift's request was for a 10' variance so that the driveway be permitted on the property line, but not extending on to Jacoby's property. During the course of Swift's testimony and Jacoby's questions of him, Mr. Owens offered Applicant's Exhibit "A-2," a photograph showing the path of the road through what had been three (3) rows of trees, the middle row of which had been removed for the road. Zoning Officer, Andrew F. Reczek, also introduced Township Exhibits "T-1" and "T-2," showing the existing 16' wide area with gravel poured for the driveway. Ms. Jacoby suggested that the entire driveway be paved, however, Mr. Reczek noted that the Township's Ordinance with respect to driveways only requires that they be paved through the right-of-way. Public comments were also received from area residents Harley Baker and James Burns.

No one else offered either testimony of public comments concerning the Application.

After brief deliberation the Board then unanimously approved the three variance requests.

II. FINDINGS OF FACT

- A. Swift is the owner of a parcel of land to the rear of 1106 North Bailey Road, Caln Township, Chester County, Pennsylvania, having purchased it at Tax Sale on October 9, 1984. (Chester County Tax Parcel No. 39-1-78.)
- B. The parcel is presently unimproved, having only a driveway going to it from North Bailey Road and along the northern boundary of the property of Adriene Keifer.

- C. The property is entirely within the R-2 Low Density Residential District.
- D. The property is “landlocked,” and is approximately 400’ from the right-of-way of North Bailey Road, necessitating variance requests due to the parcel’s incapacity to comply with the requirements of Section 155-27.B (lot width at property line) and Section 155-27.C (lot width at the setback line).
- E. In proceedings before a jury of view of the Court of Common Pleas of Chester County (No. 93-03466), Swift was awarded the right to establish a road (driveway) through Keifer’s property from North Bailey Road, provided that the road had to be within sixteen feet (16’) of Keifer’s northern boundary with the property of Doreen Jacoby.
- F. Swift requests a ten foot variance from Section 155-142.H, in order to locate his proposed driveway within Keifer’s property, but along the boundary of the Jacoby property.

III. CONCLUSIONS OF LAW

- A. The Zoning Hearing Board may grant variances from the provisions of the Zoning Ordinance where it is demonstrated that unnecessary hardship results from the enforcement of those provisions. Section 155-164.D.
- B. One of the criteria to be assessed in determining whether a variance should be granted in a given case is whether the property has “unique physical circumstances” limiting the possibility that it can be developed in “strict conformity” with the Zoning Ordinance, Section 155-164.D(a and b). Unique physical circumstances exist in this case with respect to the setback requirements of the R-2 Low-Density District, namely Section 155-27.B (lot width at the street line) and Section 155-27.C (lot width at the setback line), since the lot is a landlocked lot, approximately 400’ from the right-of-way of North Bailey Road,

and incapable of satisfying either of these setback requirements. A unique physical hardship also exists with respect to the location of the access driveway, since the jury of view limited its placement to within sixteen feet of the northern boundary of the Keifer property, along Jacoby's parcel. Since Section 155-142.H requires that access driveways must be ten feet (10') from an adjoining property, this variance request is justified, otherwise Swift's property would be limited to one six feet (6') in width and ten feet (10') away from Jacoby's property.

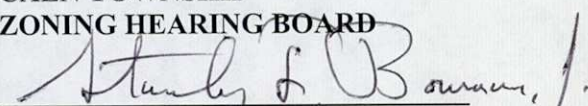
- C. An additional criteria to be evaluated in determining whether a variance should be granted is whether an Applicant has created the hardship about which he now complains, Section 155-164.D(c). Swift has been responsible for none of the hardships.
- D. Another criteria to be reviewed by the Board is whether the grant of a variance in a given case will alter the essential character of the neighborhood, substantially or permanently affect the use or development of adjacent properties, or be detrimental to the public welfare, Section 155-164.D(d). There has been no compelling evidence that surrounding properties will be adversely affected by Swift's proposed use of the parcel for development with a single-family dwelling, nor has there been compelling testimony that surrounding properties or the district (R-2) will be adversely impacted by the location of the driveway as requested by Swift.
- E. A final criteria to be evaluated is whether the variance requested represents the minimum variance that will afford relief and whether it is also the least modification possible to the regulation at issue, Section 155-164.D(e). The Board concludes that the proposed location of the access driveway, in fact, represents the minimum variance necessary to provide the relief requested, as

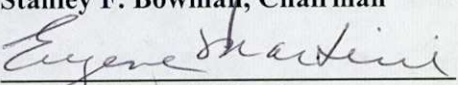
well as the least modification to the Sections from which variances are sought. Moreover, the setback requirements cannot be met, given the landlocked nature of the parcel and its distance from North Bailey Road.

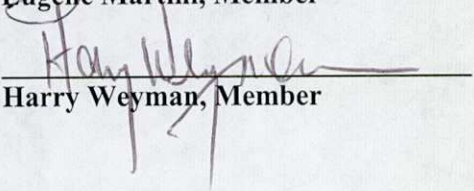
IV. CONCLUSION

AND NOW, this 17 day of SEPTEMBER, 2003, after Hearing on September 4, 2003, it is hereby **ORDERED** that Tom Swift be **GRANTED** variances from the following Sections of the Caln Township Zoning Ordinance of 1999, as amended, so the lot (Chester County Tax Parcel No. 39-1-78) can be developed: (1) Section 155-27.B, which would otherwise require that the lot have a minimum front yard of fifty feet (50') at the street line, (2) Section 155-27.C, which would otherwise require that the lot have a minimum front yard of one hundred twenty-five feet (125') at the setback line, and Section 155-142.H, to permit an access driveway on the Keifer property as proposed in Applicant's Exhibit "A-1," along its boundary with the Jacoby property, when the ordinance would otherwise require that the access driveway be a minimum of ten feet (10') from any property line. It is further **ORDERED** that Swift comply with all other applicable Ordinances, rules and regulations affecting his proposed development.

**CALN TOWNSHIP
ZONING HEARING BOARD**


Stanley F. Bowman, Chairman


Eugene Martini, Member


Harry Weyman, Member



CALN TOWNSHIP

DEPARTMENT OF ENGINEERING & CODE ENFORCEMENT

Andrew F. Reczek, Director of Code Enforcement

Jeffrey W. McClintock, PE, Township Engineer

Kathleen M. Orth, Administrative Assistant

www.calntownship.org

610-384-0400 fax: 610-384-0689 Email: corth@calntownship.org
253 Municipal Drive, P.O. Box 72149 Thorndale, Pa. 19372-0149

January 5, 2004

CMR Development Corporation
1330 Westminster Drive
Downingtown, PA 19335

RE: Single Family Dwelling

To Whom It May Concern::

This letter is to inform you that additional information is required prior to Building Permit Approval. Please provide the following information for review:

1. The submitted plan shows that 8" Concrete Masonry Units will be used as a foundation wall. According to Table R404.1.1 (1) of the 2000 International Residential Code, these units must be increased to 12" when more than 5' of unbalanced backfill is present. Please provide clear information on the methods and materials to be used to satisfy this discrepancy.
2. Provide Manufacture's specifications showing at least one window in each bedroom will meet the Egress requirements of Section R310.1.1 of the 2000 IRC. Windows of this nature must meet a minimum 5'7"sq.ft. of net clear opening; minimum height shall be 24", minimum width shall be 20"
3. Provide Manufacture's specifications and installation instructions for the Gas Fireplace to be used.
4. Provide Roof Truss specifications, signed and sealed by an Engineer licensed in the State of PA. The submitted drawings depicts 2" x 6" nominal lumber rafters and ceiling joists that do not meet the span requirements of the 2000 International Residential Code.
5. Provide a driveway profile in compliance with Chapter 74, Section 74-4 C (2) of the Caln Township Code. (Attached for your convenience)
6. Provide all storm water calculations supporting the designed areas designated for storm water retention.

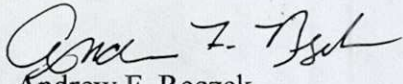
*Called 1/27/04
Roof to be stick frame now
outstanding 1/27/04 ?
incomplete per Jeff McClintock? 1/27/04
74-4*

OK 1/9/04

OK 1/27/04

The permit review process can resume once the above information is provided. Please feel free to contact me at the number above or at andy@calntownship.org in the event you should have any further questions.

Sincerely,



Andrew F. Reczek

Director

cc: Jeffrey W. McClintock, Township Engineer
File



CALN TOWNSHIP

DEPARTMENT OF CODE ENFORCEMENT

Andrew F. Reczek, Director of Code Enforcement
Gary E. Shesko, Housing Officer/Deputy Fire Marshall
Stephen L. Miller, Code Official/Deputy Fire Marshall

www.calntownship.org

610-384-0400 fax: 610-384-0689 Email: andyr@calntownship.org
253 Municipal Drive, P.O. Box 72149 Thorndale, Pa. 19372-0149

January 5, 2004

CMR Development Corporation
1330 Westminster Drive
Downingtown, PA 19335

2x8, 16"o.c. } Ceiling joists
per phone }
conversations } Refters being used rather than trusses

2x8 16"o.c Refters ok Table R802.5.1.(3)
2x8 16"o.c ceiling joist ok Table R802.4(1)

PERMIT REVIEW: Single-Family Dwelling T.P. #39-1-78.1

1. Install and maintain all Erosion and Sedimentation control measures as required by the approved Land Development Plan
2. All work must comply with the 2000 International Residential Code.
3. All electrical wiring must be inspected and approved by a Caln Township approved underwriter (list provided with permit).
4. Any Contractor performing work shall be registered in Caln Township
Foundation walls must be constructed in accordance with Table R404.1.1 (2);
12" CMU must be installed when more than 5' of unbalance backfill is placed
5. All foundation beam pockets must be grouted solid
6. Properly fire block all soffits and vertical to horizontal connections as well as all vertical penetrations.
7. Provide Attic Access per IRC (30" x 22")
8. All Plumbing must be tested in accordance with International Plumbing Code
9. Water supply and sanitary drainage line must be separated in accordance with Section 603.2 of the 2000 IPC
10. Clothes dryers must be vented in accordance with the International Mechanical Code.
11. Driveway must be installed in compliance the variances granted by the Caln Township Zoning Hearing Board and the approved driveway profile.
12. All stairs risers must be enclosed, not to exceed 7 3/4" in height and have a continuous hand railing installed to provide adequate graspability.
13. All exterior decks must have positive attachment to the structure, in accordance with the adopted code, and be constructed to limit lateral movement.
14. All mechanical venting must be in accordance with the 2000 International Mechanical Code and the Manufacturer's installation instructions. All windowless bathrooms must have mechanical ventilation provided in accordance with Section R303.3
15. Smoke Detectors must be installed in compliance with Section R317 of the 2000 International Residential Code.
16. Tempered Glazing is required at all hazardous locations such as whirlpool area.

SERIES 550 SINGLE HUNG WINDOW

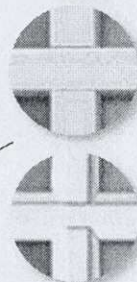
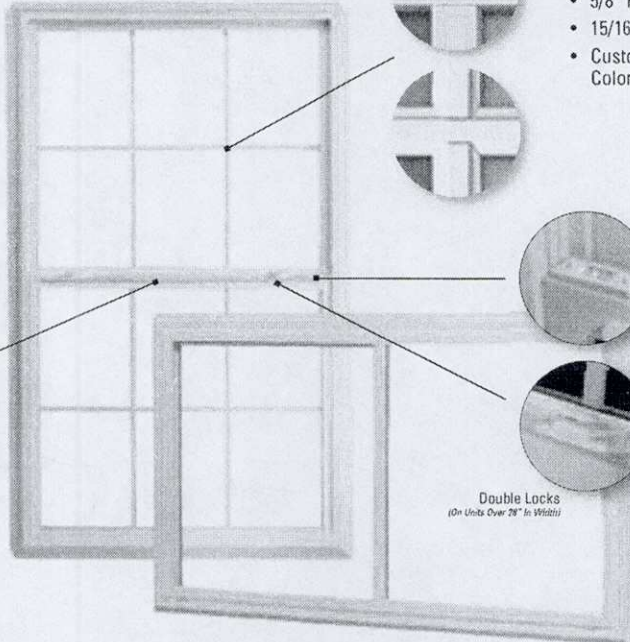
Features:

- 3/4" "Warm Edge" Insulating Glass
- Integral Star Punched Nailing Fin And J Channel
- Fully Weather-Stripped Interlock And Lift Rail
- Welded Sash and Frame
- Drywall Receptor System
- 2 1/2" Master Frame With Triple-seal Sill
- Block And Tackle Balance System with Lift-Out Sash Design
- Replaceable Snap in J Channel
- NFRC Certified
- Double Locks
(On Units Over 28" In Width)

Egress Size:

Call Size: 3050
R.O. : 36" x 60"
Meets 5.7 sq. ft. egress

Aluminum Reinforced Lift Rails



Tilt-Sash

Double Locks
(On Units Over 28" In Width)

Options:

- 4 9/16" or 6 9/16" Factory-Applied Wood Extension Jambs
- Low E Glass
- Argon Gas
- Custom Shapes and Sizes

Grid Options:

- 5/8" Rectangular Grid
- 15/16" Contoured Grid
- Custom Configurations:
Colonial, Diamond, Prairie, Paladium

RECEIVED
JAN 9 2004
CODES & ENG



The Series 550 is the perfect choice when looking for a quality window on a tight budget. An impressive list of features normally found in higher priced windows come standard, like an integral J channel that eliminates the need for J-channel when siding the home. The result is a cleaner look and fast installation.

Vinyl, a natural insulator.

Vinyl acts as a barrier to exterior temperatures, and remains comfortable to the touch regardless of weather conditions. Every window that Superseal manufactures is made of 100% virgin vinyl and not recycled or remanufactured vinyl. This ensures that the vinyl in your window will never fade warp or become brittle.

Easy to Use and Maintain

In addition to the natural insulating properties of vinyl, Superseal windows and patio doors will never have to be sanded, stripped, painted or lubricated. The durable vinyl will never rot, rust, warp, swell or corrode, and cleans easily with a damp cloth.

The Series 550's bottom sash tilt-in design and the slider unit's lift-out design allow the

insulated glass sashes to pivot into your home for ease of cleaning, eliminating the need for strenuous reaching or dangerous ladders. Slider units are also equipped with a brass roller system that allow each sash to glide easily along its track. Block and tackle balances and a positive locking tilt system ensure that your windows will always operate smoothly and consistently.

Intercept® "Warm-Edge" Technology

Choosing the right window includes choosing the right insulating glass. Superseal places Intercept® "Warm-Edge" spacers between the two panes of glass that are used to create each 3/4" thick glass panel. Intercept spacers reduce condensation around the window perimeter and combined with the air space between the glass panes, creates an effective thermal barrier to help reduce energy loss through the window.

Multi-Chambered Construction

For even more thermal protection, the Series 550's multi-chambered construction traps air within the frame and sashes. This actually

creates an insulating barrier that drastically reduces your home's energy consumption.

Fin-Seal Weather Stripping

Fin-Seal Weather-stripping is a durable fin and pile weather-strip, that provides a solid draft barrier and is highly effective in resisting air, water, dust, and noise. Fin-Seal is designed to withstand years of constant use.



All Superseal products carry a limited lifetime warranty. For the purpose of improving or enhancing our products, we reserve the right to change detail, designs or specifications of any product at any time without prior notification. Superseal offers a wide selection of custom architectural shapes and specialty windows, to enhance any home's design and decor. Please consult your dealer for details.

Insulating glass in all Superseal products uses Intercept™ components licensed from PPG Industries, Inc., Intercept™ Insulating Glass is a registered trademark of PPG Industries, Inc., Pittsburgh, PA.

Needed

- ① Stair Risers + Treads
 - ② Window Egress OK
 - ③ Fire Place specs
 - X ④ Septic Permit
 - ⑤ Beaming (Floor joist) Kitchen / 1st Fl. Hallway Family Room / Living Room does not allow for Direct Transfer of load: 2' difference between Basement Beam + LVL location.
 - ⑥ Rafter span (2x6 x 15') Table R 802.5.1(3): Materials or ~~spec~~ centers must be changed
- Permit Review
- ① E+S
 - ② Contractors
 - ③ 3rd Party Electric
 - ④ Footings must be min of 19" in width per Table R 403.1 minimum 3000 psi
 - ⑤ Foundation Wall shall be in accordance with R 404.1.1(1) 12" masonry wall, shall be used: Should unbalance backfill exceed 5' in height wall shall be grouted solid. Page 67 2000 IRC
 - ⑥ Joists shall be Hem Fir #2
 - ⑦ Basement Floor Drain Installed per IPC 2000 Section 412
 - ⑧ Brick veneer must be 4.5 sq. ft per Section
 - ⑨ Provide Foundation drainage per Section R 405
 - ⑩ All stair Risers shall be max 7³/₄ tread min 10" with continuous Railing
 - ⑪ All Gas line piping ^{+ shut-off} must be installed in accordance with 2000 FGC

R 501.2 transmitting the resulting load to the supporting structural elements

Smoke Detectors per R 317

Ventilation per R 303

Tempered Glazing Require @ Whirlpool Area R 308

Attic Access

TOWNSHIP OF CALN

PERMIT

Permit No: 2005-00401-BUI

Date Issued: 11/14/2005

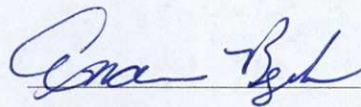
Location of Work: 1104 BAILEY RD

Type of Work: HOME OCCUPATION

Owner: ROBERT & CHRISTINA MORROW

Contractor: APPLICANT 610.466.7000

Parcel #: 39-1-78.1



ZONING OFFICER

THIS PLACARD MUST BE POSTED IN A CONSPICUOUS PLACE ON THE PREMISES, EASILY VISIBLE FROM THE PRINCIPAL STREET, WELL SECURED IF EXPOSED TO THE WEATHER, DURING THE ENTIRE CONSTRUCTION TIME.

WORK MUST BE STARTED WITHIN 6 MONTHS FROM DATE OF ISSUE

INSPECTION ASSIGNMENT SHEET

Building Permit No. 2005-00401-BUI

Location 1104 BAILEY RD., COATESVILLE, PA 19320

Owner ROBERT & CHRISTINA MORROW

Contractor APPLICANT 610.466.7000

Description HOME OCCUPATION

Comments HOME OCCUPATION: CATEGORY #2: SHALL COMPLY WITH ALL REQUIREMENTS OF Section 155-109© (ATTACHED)

FINAL INSPECTION (performed after work is complete and PRIOR TO USING OR OCCUPYING CONSTRUCTION)

Provide floor plan of suggest cabinetry shop and its relationship
to the existing dwelling 25% of gross floor area or > 500 sq ft

Provide Location of stockpiled material

Feet: 197.48
Miles: 0.04



Status:

Mode: Info

CHESTER COUNTY

UPI:	39-1-78-1
Owners:	MORROW/ROBERT C II CHRISTINA M
Mail Address:	1104 N BAILEY RD COATESVILLE PA
ZIP:	19320
Site Address:	1104 N BAILEY RD
Book:	6176
Page:	1786
Record Date:	6/3/2004
Lot Location:	W/ BEAR T 442
Prop. Descrip:	T AC DWG
Acres:	
Square Feet:	43560
LUC:	P-10
Lot Assmnt:	\$ 30,120
Total Assmnt:	\$ 245,840
Prop. Assmnt:	\$ 215,720
Last Sale:	\$ 314,845
Assmnt Date:	2/16/2005 2:39:57 PM

Section 155-109: Home Occupation Regulations

- (A) For the purposes of this Code, home occupations shall include the following two (2) categories:
- (1) **Category 1 Home Occupations:** A business or commercial activity administered or conducted as an accessory use, which is clearly secondary to the use as a residential dwelling and which involves no customer, client or patient traffic (whether vehicular or pedestrian), pickup, delivery or removal functions to or from the premises, in excess of those normally associated with a residential use. A "Category 1 Home Occupation" shall be synonymous with a "No Impact Home-Based Business", as defined by the Pennsylvania Municipalities Planning Code.
 - (2) **Category 2 Home Occupations:** A business or commercial activity administered or conducted as an accessory use, which is clearly secondary to a single family residential dwelling and which involves some customer, client or patient traffic (whether vehicular or pedestrian), pickup, meeting location, delivery or removal functions to or from the premises, in excess of those normally associated with a residential use.
- (B) Category 1 Home Occupations shall be permitted by right in the R-1, R-2, R-3, R-4, R-5, TV-1, C-1, C-2 and I-1 Zoning Districts, subject to the following requirements:
- (1) The home occupation shall be conducted within an approved residential dwelling unit, which complies with the minimum and maximum dimensional requirements of the zoning district to which the use is located.
 - (2) The home occupation shall be conducted only within the dwelling and may not occupy more than 25 percent of the gross floor area of the residential dwelling unit.
 - (3) The home occupation shall include only lawful uses, which shall be clearly secondary to the residential use and shall be compatible with surrounding residential uses.
 - (4) The home occupation shall employ no employees other than family members residing in the dwelling.
 - (5) There shall be no visual display or sale of retail goods.
 - (6) There shall be no stockpiling, storage or inventory of products of a substantial nature.
 - (7) There should be no outside appearance of a business use, including, but not limited to, parking, signs or lights.
 - (8) The home occupation may not use any equipment or process, which creates noise, vibration, glare, fumes, odors, electrical or electronic interference, including interference with radio or television reception, which is detectable in the neighborhood.
 - (9) The home occupation may not generate any solid waste or sewage discharge, in volume or type, which is not normally associated with residential use in the neighborhood.
- (C) Category 2 Home Occupations shall be permitted by right within the R-1, R-2, R-3, TV-1, C-1 and C-2 Zoning Districts, subject to the following requirements:
- (1) The home occupation shall be conducted within an approved single family detached dwelling unit, which complies with the minimum and maximum dimensional requirements of the zoning district to which the use is located.
 - (2) The home occupation shall be conducted only within the dwelling or an approved accessory structure, which may not occupy more than 25 percent of the gross floor area of the single family detached residential unit or no more than 500 square feet of an accessory structure.
 - (3) The home occupation shall include only lawful uses, which shall be clearly secondary to the residential use and shall be compatible with surrounding residential uses. The exterior appearance shall be maintained as a single family detached residential use.

- (4) The home occupation shall be limited to the family members residing within the dwelling plus two (2) additional persons to provide support services and assistance.
- (5) There shall be no visual display or sale of retail goods.
- (6) There shall be no stockpiling, storage or inventory of products of a substantial nature.
- (7) The home occupation may not use any equipment or process, which creates noise, vibration, glare, fumes, odors, electrical or electronic interference, including interference with radio or television reception, which is detectable in the neighborhood.
- (8) No manufacturing, repairing or other mechanical work shall be performed in any open area. All such activities shall be conducted in such a manner that they are not detectable or noticeable at or beyond the property line.
- (9) The home occupation may not generate any solid waste or sewage discharge, in volume or type, which is not normally associated with residential use in the neighborhood.
- (10) No more than one (1) home occupation shall be permitted per residential unit.
- (11) An off-street parking area shall be provided to meet the following requirements: two (2) parking spaces shall be provided for the residential use; one (1) parking space shall be provided for each employee not residing within the dwelling; and no more than two (2) parking spaces shall be provided for guests or patrons. The maximum number of off-street parking spaces shall be limited to six (6) parking spaces, which shall not include any garage spaces and shall be designed to comply with the appropriate provisions of Article X of this Chapter.
- (12) A sign displaying the name and address of the home occupation may be permitted, subject to the following requirements: no more than one (1) such sign shall be erected on the lot; the area of the sign shall not exceed two (2) square feet in size; and the sign shall be either fixed flat on the main wall of the building or may be erected in the front yard, but not within ten (10) feet of the cartway.

Section 155-110: Height Exceptions

- (A) Unless otherwise specified within this Code, the building height limitations contained within this Chapter shall not apply to chimneys, spires, belfries, cupolas, farm buildings, silos, greenhouse ventilators, antennas (not in combination with support towers), water tanks, solar energy collectors, windmills, and other similar appurtenances, which are usually required to be placed above the roof level provided they are not intended for human occupancy.
- (B) The projection of the exempted structures specified within Section 155-110(A) may be increased to a maximum height of fifty (50) feet provided that the height of the exempted structure is not greater than the distance to any property line, as measured from the exempted structure to any property line.
- (C) The height exceptions specified within this Section shall be consistent with the provisions specified by state and federal aviation laws. Where conflicts should arise, the provisions of the state or federal aviation law shall be upheld.

155-111: Front Yard and Lot Width Exceptions

- (A) When an unimproved lot is situated between two (2) improved lots with front yard dimensions less than those required for the zoning district in which the unimproved lot is located, the front yard required for the unimproved lot may be reduced to a depth equal to the average of the two (2) adjoining lots; provided, however, that this provision shall only apply in such cases where the improved lots in question are improved as of the time of the adoption of the Ordinance and the improvements are located within one hundred (100) feet of the unimproved lot. For the purpose of this Section, an unimproved lot shall be the same as a vacant lot and an improved lot shall be one on which a principal building is erected.



CALN TOWNSHIP

DEPARTMENT OF CODE ENFORCEMENT
Andrew F. Reczek, Director of Code Enforcement
Gary E. Shesko, Housing Officer/Deputy Fire Marshal
Stephen L. Miller, Code Official/Deputy Fire Marshal

www.calntownship.org

610-384-0400 fax: 610-384-0689 Email: andyr@calntownship.org
253 Municipal Drive, P.O. Box 72149 Thorndale, Pa. 19372-0149

APPLICATION FOR USE & OCCUPANCY PERMIT HOME OCCUPATION

\$20

Permit No. 401

APPLICATION MUST COMPLY WITH SECTION 155-134 OF THE CALN
CODE

PERMIT FEE: \$20.00 non-refundable

HOME OCCUPATION OR BUSINESS: WOODWORKING

OWNER: ROBERT MORROW

ADDRESS: 1104 NORTH BAILEY ROAD

PHONE # 610-466-7000

AREA OF RESIDENCE TO BE USED FOR OCCUPATION _____

APPROXIMATELY 800 sq ft. FOR BUSINESS

OFF STREET PARKING PROVIDED: (A TOTAL OF FIVE (5) SPACES
NEEDED) 6 SPACES AVAILABLE

NUMBER OF
EMPLOYEES: Ø

ZONING DISTRICT: R-2 DATE: 11/14/05

APPROVED/DISAPPROVED ZONING OFFICER: [Signature]

Home Occupation: Category #2: Shall comply with all requirements
of Section 155-109 (C) (Attached)

RECEIVED

AUG 22 2005

CODES

Brief description of business:

My business will be a woodworking business. Fabricating custom cabinets and furniture pieces. I plan to build the pieces in house and deliver them to my clients, on location. By doing this there will not be any retail traffic that will be at my home. My hours of operation will be between 8:00am and 5:00pm. In addition, I will not have any signage in the front of my house. To construct the cabinets and furniture pieces, I will be using standard power tools (i.e.- tablesaw, router, jointer, planer and miscellaneous hand tools, and etc.).

RECEIVED

AUG 22 2005

CODES

RECEIVED
NOV 1 2005
ENGINEERING

November 1, 2005

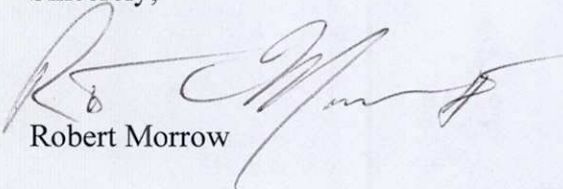
RE: Home Occupation
Woodworking Business

Dear Mr. Reczek:

I am writing you to provide additional information, which you requested regarding my permit approval. The working area that I would like to use is my two-car garage (please see attached drawing). I have also provided a storage area within the garage. In addition, I have marked where the six parking spots would be located. I also understand that all activities of this nature will be conducted in a manner so as not to be detectable at or beyond the property line.

If there is any additional information you would like, I can be reached at 484-431-3536.
Thank you for your time.

Sincerely,



Robert Morrow

RECEIVED
NOV 1 2005
ENGINEERING

WOODDED AREA

PROPERTY LINE

50'

PROPOSED PARKING

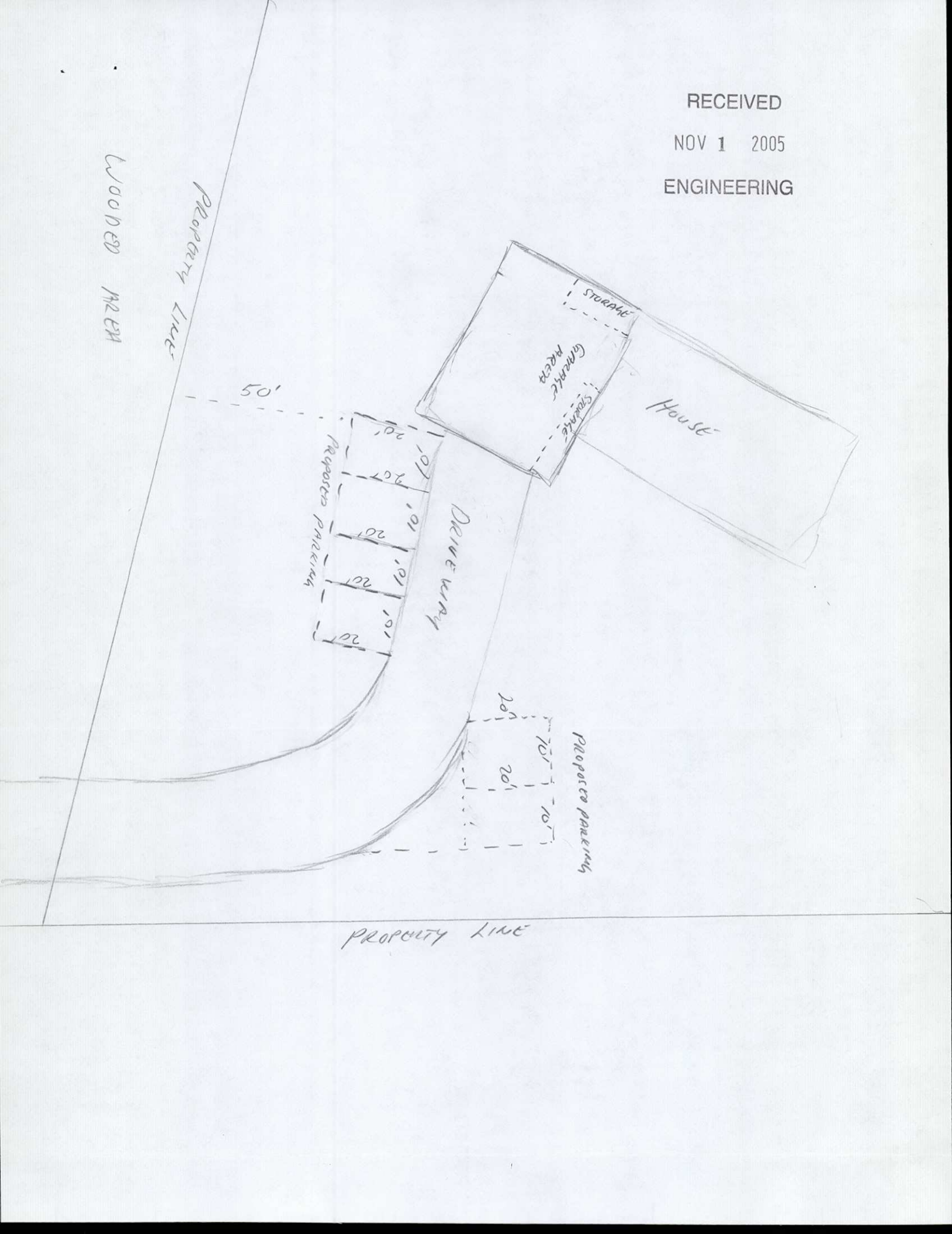
DRIVEWAY

STORAGE
GARAGE AREA
SPRINKLE

HOUSE

PROPOSED PARKING

PROPERTY LINE





CALN TOWNSHIP

DEPARTMENT OF CODE ENFORCEMENT
Andrew F. Reczek, Director of Code Enforcement
Gary E. Shesko, Housing Officer/Deputy Fire Marshall
Stephen L. Miller, Code Official/Deputy Fire Marshall

www.calntownship.org

610-384-0400 fax: 610-384-0689 Email: andy@calntownship.org
253 Municipal Drive, P.O. Box 72149 Thorndale, Pa. 19372-0149

August 24, 2005

Robert Morrow
1104 North Bailey Road
Coatesville, PA 19320

RE: Home Occupation
Woodworking Business

Dear Mr. Morrow:

This letter is to inform you that additional information is needed prior to zoning permit approval. Please provide the following information;

- 1) Please provide a floor plan showing the overall dwelling and its relationship to the proposed work area. Section 155-109 [C] (2) limits this space to no more than 25% of the overall gross floor area or no more than 500 sq.ft. I understand you are suggesting a space of 800 sq.ft.
- 2) The floor plan shall also establish an inventory storage and stockpile area. All storage of materials are required to be indoors
- 3) Please provide a plot plan establishing the location of the all six required parking spaces. Parking spaces are required to be 10' in width and 20' in length.
- 4) Please understand all activities of this nature shall be conducted in a manner so as not to be detectable at or beyond the property line.

Once this requested information has been provided the review process can continue. Please feel free to contact me at the number above or at andy@calntownship.org in the event you should have any further questions.

Sincerely,

Andrew F. Reczek
Director

cc: File



CALN TOWNSHIP

DEPARTMENT OF CODE ENFORCEMENT

Andrew F. Reczek, Director of Code Enforcement
Gary E. Shesko, Housing Officer/Deputy Fire Marshall
Stephen L. Miller, Code Official/Deputy Fire Marshall

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Coatesville, PA 19320

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Woodworking Business

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Once this requested information has been provided the review process can continue. Please feel free to contact me at the number above or at andy@calntownship.org in the event you should have any further questions.

Sincerely,

Andrew F. Reczek
Director

cc: File

Date 8-22-05

Township of Caln
Receipt and Proof of Payment

No 14183

78.00
Cash
\$20.00

GENERAL FUND

- 01-10-322-910 --- Police Services _____
- 01-10-322-900 --- Street Opening Fee _____
- 01-10-331-125 --- Vehicle/Speed Ctrl/Ordinance _____
- 01-10-345-060 --- Act 205 - Pension _____
- 01-10-345-061 --- Fireman s Relief _____
- 01-10-345-080 --- Beverage License _____
- 01-10-361-305 --- Planning Fees _____
- 01-10-361-320 --- Act 247 Review/Inspection _____
- 01-10-361-340 --- Zoning Hearing _____
- 01-10-362-410 --- Building Permit *\$ 20.00* _____
- 01-10-362-451 --- U & O New _____
- 01-10-362-452 --- U & O Res & Com _____
- 01-10-362-601 --- Housing Annual Rental Fee _____
- 01-10-362-602 --- Housing Tenant Change Fee _____
- 01-10-362-610 --- Contractor s License Fee _____
- 01-10-363-700 --- Bus Shelters _____
- 01-10-380-100 --- Miscellaneous _____
- 01-10-387-303 --- Lloyd Park Investment _____
- 01-10-395-100 --- Refund _____
- 01- _____ --- _____
- 01- _____ --- _____
- 01- _____ --- _____
- 01- _____ --- _____
- 01- _____ --- _____

PAID
AUG 22 2005
CODES

Department *JB* Treasurer _____

CHESTER COUNTY HEALTH DEPARTMENT

Main Office:

Government Service Center
601 Westtown Road, Suite 288
West Chester, PA 19382-6526
(610)344-6526
(610)344-5934 Fax

South Branch:

695 Baltimore Pike
West Grove, PA 19390-9430
(610)869-0560
(610)869-0525 Fax

SEWAGE APPLICATION RECORD FORM & SEWAGE APPLICATION RIDER

Application # T 008425 (# on Sewage Application including the letter)

CMR Development	Attn: Mike Reilly	(610)636-0918
Name of Applicant (Property/Equitable Owner ONLY)		Telephone #
1330 Westminster Drive	Downingtown, PA	19335
Address of Applicant (Property/Equitable Owner ONLY)		Zip Code
North Bailey Road	39-1-78.1	Caln Township
Site Address	Lot & Tax Parcel #	Municipality/Site Location
Chester		
County		Subdivision Name

Signature Property/Equitable Owner

Signature Property/Equitable Owner

Select One:

Residential Commercial Repair Relocation Community

* If Repair Check One:

Work is being done due to a _____ system failure or _____ failed certification - _____
Name of Certifier

* For Commercial or Community Systems:

of EDUs _____ (One EDU is equivalent to a flow of 400 gallons per day)

LOCATION OF SITE: (Draw map or provide clear narrative directions) MUST BE COMPLETED

US RT 30 - WESTON PA RT 340 (KINGS HWY) TO RIGHT onto N. BAILEY RD @ CALN MEETINGHOUSE CHURCH. Property Access on LEFT ~ 1200 feet north of PART 340.

Please complete the reverse side. An additional fee may be required prior to permit issuance.

All the above information is to be supplied by the applicant. At the time you complete this form, also complete Part I of the actual Sewage Application so that the same information is supplied on both forms. Return ONLY this form (in duplicate) with the appropriate fee. Keep application until all testing and drawings have been completed.

FOR DEPARTMENTAL USE ONLY

Admin. Fee \$ 25.00 Receipt # 203038 1st Fee \$ 550.00 Receipt # 203039 2nd Fee \$ _____ Receipt # _____

Date 12/12/03 ✓ Date 12/12/03 ✓ Date _____

Transfer Fee \$ _____ Receipt # _____

CHESTER COUNTY HEALTH DEPARTMENT
SEWAGE APPLICATION RIDER

December 11, 2003

Application # T 008425

I/We, CMR Development Attn: Mike Reilly

owner (s) of the real property in the Township of Caln

County of Chester and Commonwealth of Pennsylvania more specifically described as follows:
North Bailey Road; Tax Parcel No. 39-1-78.1

do hereby authorize, empower and appoint (Name) Evans Mill Environmental, Inc.
(Phone) (610)458-8300 (Address) P. O. Box 735 Uwchland, PA 19480

my lawful agent exclusively and specifically with reference to the installation of an on-lot sewage disposal system (s) on the property described above. My agent herein named is authorized, among other things to file applications, conduct tests, attend meetings, receive notices and do any and all other acts necessary for the permitting and installation of said system (s). My agent is specifically authorized, in my absence, to receive the notice required by 35 P.S. 750.7 Et. Seq.

IN WITNESS WHEREOF, I, WE, hereunto place our hand(s) and seal(s).



Signature Property/Equitable Owner

Signature Property/Equitable Owner

Sworn to and subscribed before me

This 11 day of Dec 2003.

Crystal Peterson

Notary Public

COMMONWEALTH OF PENNSYLVANIA
Notarial Seal
Crystal L. Peterson, Notary Public
Caln Twp., Chester County
My Commission Expires Sept. 3, 2007
Member, Pennsylvania Association Of Notaries

THIS FORM MUST BE NOTARIZED IF AN AGENT IS BEING OR HAS BEEN APPOINTED

For Departmental Use Only

Test Pit Observations On _____ at _____ Initial Presoak on _____ at _____

Perc Test On _____ at _____

_____ The above dates meet the 20 working day requirement of Act 537.

_____ The above dates do not meet the 20 working day requirement of Act 537. The dates given have been mutually agreed to by the property owner or his assigned agent and the Chester County Health Department.

CHESTER COUNTY HEALTH DEPARTMENT
Bureau of Environmental Health Protection
Division of Water, Sewage & Public Health Engineering

Well Permit Application

Well Owner: AMR DEVELOPMENT CORP.
Mailing Address: 3125 HORSESHOE PIKE
HONEY BROOK PA 19344
Telephone #: 610-636-0918
Owner's Signature: [Signature]

Site Address: NORTH BAILEY ROAD
Street, Box No. _____
Post Office: COATESVILLE State: PA Zip: 19320
Subdivision Name: CALN Lot #: 29-001-0078.01
Municipality: _____ Tax Parcel #: _____

Use for Water	Type of Construction	Sewage Permit # <u>T019069</u>
<input checked="" type="checkbox"/> Individual (Residential)	<input checked="" type="checkbox"/> New Well	If Existing, Year Installed _____
<input type="checkbox"/> Semi-Public	<input type="checkbox"/> Deepen Existing Well	Date Issued <u>12/17/03</u>
<input type="checkbox"/> Public	<input type="checkbox"/> 2 nd Well on Property	Date Finaled _____
<input type="checkbox"/> Agricultural	<input type="checkbox"/> GEO/GSHP	
<input type="checkbox"/> Other	<input type="checkbox"/> Monitoring/Testing	

Plot Plan

Drawing must be neat and accurate; it need not be to scale. (See example plot plan in instructions.)

SEE ATTACHED
PLOT PLAN

MAINTAIN ALL
MINIMUM
ISOLATION
DISTANCES

Note: The water supply cannot be used until final approval is granted by CCHD.

Directions to Site: BUSINESS RT 30 WEST TURN RIGHT ONTO RT 340 AND
RIGHT ONTO NORTH BAILEY RD TO SITE ON LEFT.

Driller Declaration: I certify that the location herein proposed is accessible and meets all Chapter 500, §501 isolation distances.

Driller Name: B. Myers Bros Inc Driller Signature: [Signature] CCHD License #: 222

Approval to Drill	Approval to Use	Abandonment Approval
<input checked="" type="checkbox"/> Granted <input type="checkbox"/> Denied	<input type="checkbox"/> Granted <input type="checkbox"/> Denied	<input type="checkbox"/> Granted <input type="checkbox"/> Denied
CCHD Signature: <u>[Signature]</u>	CCHD Signature: _____	CCHD Signature: _____
Date: <u>12/19/03</u>	Date: _____	Date: _____

Fee Paid: \$ 150- Receipt #: 202584 Date: 12-3-03

WOODS

OPEN 3 AC. PARCEL

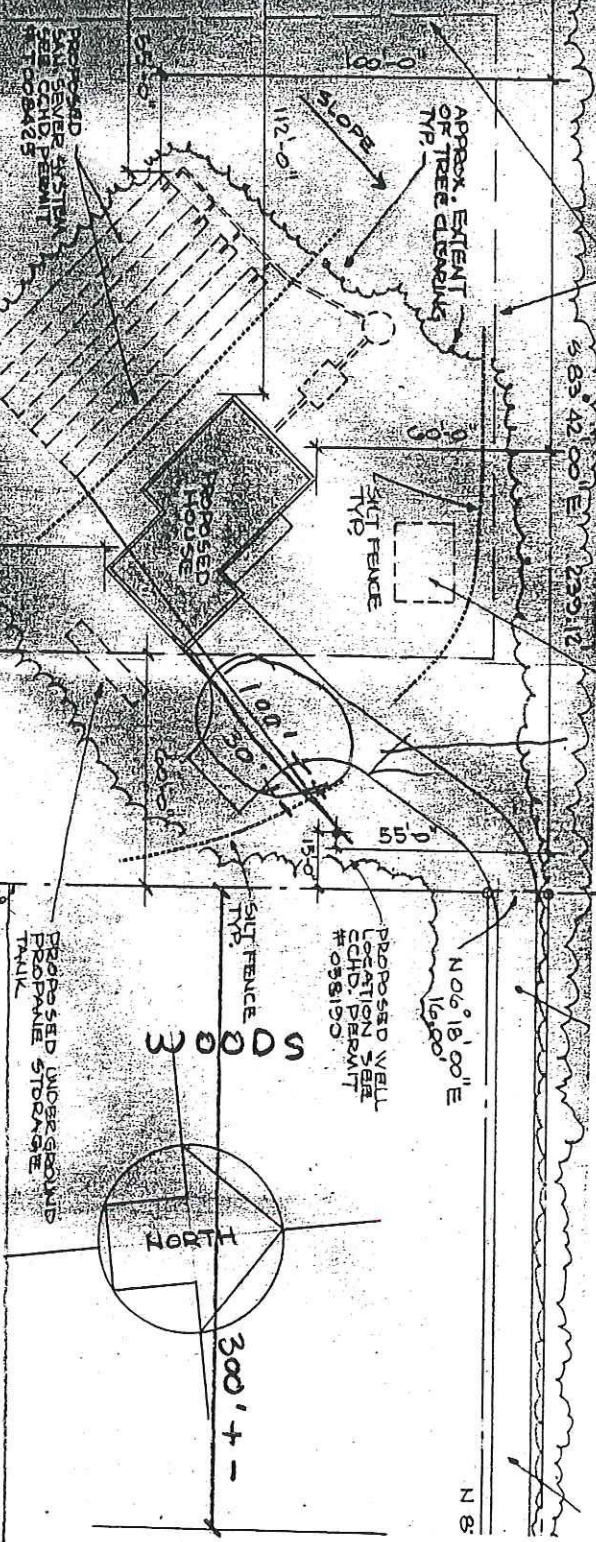
NOT accurate
IN formation
poor planning

WOODS

WOODS

OPEN
YARD

Well must be 100'
from Absorption Area
and 30' from the house.
Failure to maintain will result in
revocation of this permit.
HOUSE



HOUSE

MAINTAIN ALL
MINIMUM
ISOLATION
DISTANCES

" = 50'

N BAILEY RD

400'

House

[Redacted text block]

COMMONWEALTH OF PENNSYLVANIA
DEPARTMENT OF ENVIRONMENTAL PROTECTION

APPLICATION FOR AN ON-LOT SEWAGE DISPOSAL SYSTEM PERMIT

PART I APPLICANT AND SITE INFORMATION

1. Applicant Name CMR DEVELOPMENT
Address 1330 WESTMINSTER DR
DOWNINGTOWN PA 19335
Telephone No. Day (610) 636-0918
Evenings () _____

2. Site Address NORTH BAYLEY RD
COATESVILLE PA 19320
Post Office SWIFT PROPERTY State PA Zip 19320
Subdivision Name CALN TWP Lot No. _____
Municipality CHESTER County _____

Directions to the Site: US Rt 30 - WEST on PA Rt 340 - RIGHT onto NORTH BAYLEY RD - 1/2 mile
on LEFT

3. Lot Size 1.09 sq. ft./acres

4. TYPE OF FACILITY TO BE SERVED BY THIS SYSTEM

Single Family Residential Multifamily
No. of Bedrooms 4 Commercial
gal. day _____

Type of System SEE ATTACHMENT
 New Repair

5. Facility Water Supply: Public Well Spring Cistern Surface
6. Distance to the nearest existing or proposed Private Water Supply (on or off the property) +1000 ft.

PART II LOCAL AGENCY USE ONLY

SEWAGE PLANNING	SITE SUITABILITY	APPLICATION STATUS
<input type="checkbox"/> Approved Planning Mod. DEP Code No. _____ (date) _____ <input checked="" type="checkbox"/> Area Not Planned (lot created before May 15, 1972) <input type="checkbox"/> Limitations in Effect	Soil Series <u>GcC2</u> Slope <u>7-9</u> % Type of Limiting Zone <u>Rock</u> Depth of Limiting Zone <u>72</u> inches Type of Cover <u>Ag, Grass, Forest</u>	ACTION DATE <input checked="" type="checkbox"/> Complete Application <u>12/10/03</u> <input type="checkbox"/> Received <u>12/17/03</u> <input type="checkbox"/> Permit Issued _____ <input type="checkbox"/> Permit Denied _____ <input type="checkbox"/> Interim Inspection _____ <input type="checkbox"/> Interim Inspection _____ <input type="checkbox"/> Final Inspection _____ <input type="checkbox"/> Approved _____ <input type="checkbox"/> Disapproved _____ SEO Initials _____ <input type="checkbox"/> Revoked Permit _____
FEES PAID <u>207.039</u> Application \$ <u>50.00</u> Testing Inspection(s) _____ Other _____ Total \$ _____	Percolation Rate <u>26.13</u> min/in. Not conducted - IRSIS Site is: <input checked="" type="checkbox"/> Suitable for in ground system. <input type="checkbox"/> Suitable for elevated system. <input type="checkbox"/> Suitable for IRSIS <input type="checkbox"/> Unsuitable	Attach Form 3620-FM-WQ0290 Appendix A or B

PART III PLOT PLAN AND SYSTEM DESIGN

1. TANKAGE Total Tank Capacity <u>1250</u> gal. <input checked="" type="checkbox"/> Septic Tanks <u>1</u> <input type="checkbox"/> Aerobic Tank(s) _____ <input type="checkbox"/> Chemical Toilet _____ <input type="checkbox"/> Composting Toilet _____ <input type="checkbox"/> Incinerating Toilet _____ <input type="checkbox"/> Recycling Toilet _____ <input type="checkbox"/> Holding Tank _____ <input type="checkbox"/> Vault Privy _____	2. SOIL ABSORPTION SYSTEM <u>1376.0</u> Total Absorption Area <u>1630</u> Sq. ft. <input checked="" type="checkbox"/> Standard Trench <input type="checkbox"/> Elev. Sand Trench <input type="checkbox"/> Seepage Bed <input type="checkbox"/> Elev. Sand Bed <input checked="" type="checkbox"/> Pressure Dose <input checked="" type="checkbox"/> Subsurf. Sand Bed <input type="checkbox"/> Alternate _____ <input type="checkbox"/> Experimental _____ <input type="checkbox"/> IRSIS	3. ATTACH THE FOLLOWING DOCUMENTATION a. A copy of the Form 3620-FM-WQ0290 Appendix A (and B when required) (See Part II) b. A detailed plot plan and sewage system design (including plan reviews and cross sections). See the instructions on the reverse side for required details. Indicate the number of attached sheets _____.
4. Type of Sand Filter <input type="checkbox"/> Buried <input type="checkbox"/> Free Access		5. Type of Disinfection <input type="checkbox"/> Erosion <input type="checkbox"/> Hypo
Comments: _____		

PART IV SIGNATURES

I am the owner of record (or the authorized agent of the owner) of the lot described in Part I of this application. I intend to install an on-lot sewage system on this property. The information provided as part of this application is true and correct to the best of my knowledge. I understand that providing false information on this application is subject to the penalties of 18 PA, C.S.A. §4904, relating to unsworn falsification to authorities. Submission of this form grants authorized representatives from the local agency and/or this Department access to the lot to inspect and conduct tests of 1) the site; 2) the system and structures under construction; 3) the completed sewage system, and, 4) the operational status of the system.

Property Owner's Signature _____ Date 12/11/03

The information in this application is true and correct to the best of my knowledge.

Enforcement Officer Signature _____ Date 12/17/03 Certification No. 01998



COMMONWEALTH OF PENNSYLVANIA
 DEPARTMENT OF ENVIRONMENTAL PROTECTION
 BUREAU OF WATER SUPPLY AND WASTEWATER MANAGEMENT

**SITE INVESTIGATION AND PERCOLATION
 TEST REPORT FOR ONLOT DISPOSAL OF SEWAGE**

INSTRUCTIONS FOR COMPLETION OF THIS FORM ARE LOCATED ON THE REVERSE SIDE

Application No. T 008425 Municipality Cain Twp. County Chester

Site Location North Bailey Road Subdivision Name Swift Property Tx # 39-1-78.1

- SUITABLE Soil Type _____ Slope 9% Depth to Limiting Zone _____ Ave. Perc. Rate 86.13
 UNSUITABLE Mottling Seeps or Pondered Water Bedrock Fractures Coarse Fragments
 Perc. Rate Slope Unstabilized Fill Floodplain Other _____

SOILS DESCRIPTION:

Soils Description Completed by: CCHD Date: 10/31/02

Inches	Description of Horizon
<u>0</u> TO _____	_____
_____ TO _____	_____
_____ TO _____	_____
_____ TO _____	<u>SEE ATTACHED TP LOG</u>
_____ TO _____	_____
_____ TO _____	_____

PERCOLATION TEST:

Percolation Test Completed by: G. Holcomb Date: 10-31-02

Weather Conditions: Below 40°F 40°F or above Dry Rain, Sleet, Snow (last 24 hours)

Soil Conditions: Wet Dry Frozen

Hole No.	***		Reading Interval	Reading No. 1:	Reading No. 2:	Reading No. 3:	Reading No. 4:	Reading No. 5:	Reading No. 6:	Reading No. 7:	Reading No. 8:
	Yes	No		Inches of drop	Inches of drop	Inches of drop	Inches of drop	Inches of drop	Inches of drop	Inches of drop	Inches of drop
1	XX		<u>10 / 30</u>	<u>1 7/8</u>	<u>1 7/8</u>	<u>1 7/8</u>	<u>1 7/8</u>				
2	XX		<u>10 / 30</u>	<u>2 7/8</u>	<u>2 7/8</u>	<u>2 3/4</u>	<u>2 7/8</u>				
3	XX		<u>10 / 30</u>	<u>0</u>	<u>0</u>	<u>0</u>	<u>0</u>				
4	XX		<u>10 / 30</u>	<u>0</u>	<u>1/4</u>	<u>0</u>	<u>1/4</u>				
5	XX		<u>10 / 30</u>	<u>3 3/8</u>	<u>3 1/8</u>	<u>3 1/8</u>	<u>2 7/8</u>	<u>2 7/8</u>			
6	XX		<u>10 / 30</u>	<u>1/4</u>	<u>1/4</u>	<u>3/8</u>	<u>1/4</u>				

***Water remaining in the hole at the end of the final 30-minute presoak? Yes, use 30-minute interval; No, use 10-minute interval.

Calculation of Average Percolation Rate:

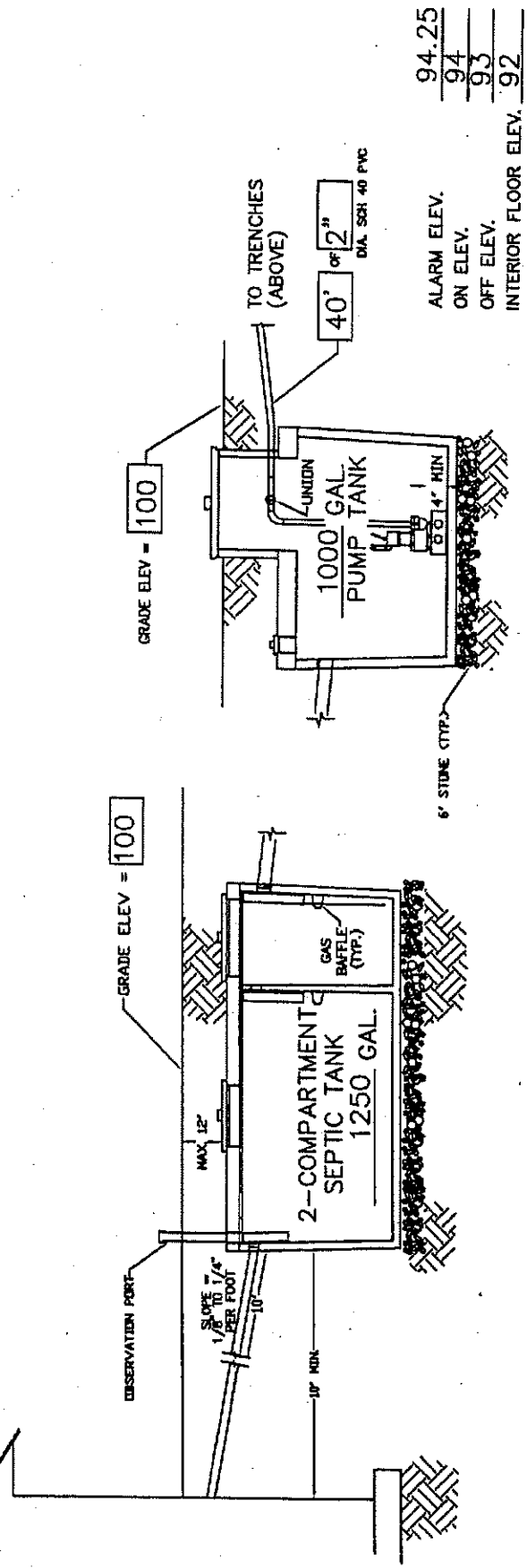
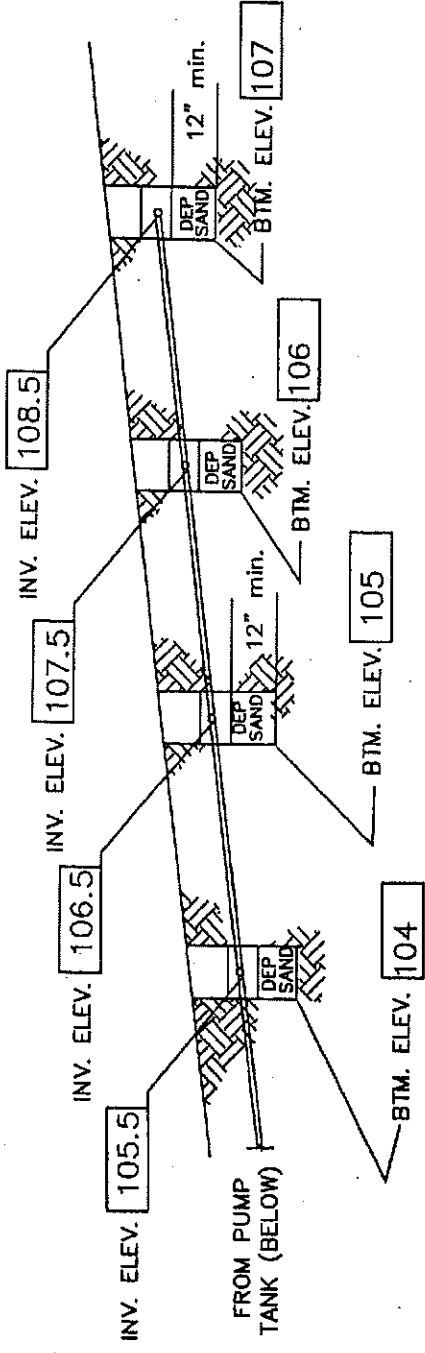
Hole No.	Drop during final period	Perc. Rate as Minutes/Inch	Depth of Hole
<u>1</u>	<u>1 7/8</u> "	<u>16.0</u>	<u>24</u> "
<u>2</u>	<u>2 7/8</u> "	<u>10.4</u>	<u>36</u> "
<u>3</u>	<u>0</u> "	<u>240</u>	<u>24</u> "
<u>4</u>	<u>1/4</u> "	<u>120</u>	<u>36</u> "
<u>5</u>	<u>2 7/8</u> "	<u>10.4</u>	<u>24</u> "
<u>6</u>	<u>1/4</u> "	<u>120</u>	<u>36</u> "
TOTAL OF MIN / IN →		<u>516.8</u>	= <u>86.13</u> ^{Min} / _{Inch}
TOTAL NO. OF HOLES →		<u>6</u>	

The information provided is the true and correct result of tests conducted by me, performed under my personal supervision, or verified in a manner approved by DEP.
 (S) _____
 Sewage Enforcement Officer

Copy Type:

- Local Agency (White) Applicant (Yellow) Local DEP Office (Pink)

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ALARM ELEV.	94.25
ON ELEV.	94
OFF ELEV.	93
INTERIOR FLOOR ELEV.	92

HYDRAULIC PROFILE

NOT TO SCALE

STD4-2COMPST

Appl. # T 008425 CMR Development
 Tax Parcel # 39-1-78.1, North Baily Road
 Caln Township, Chester County

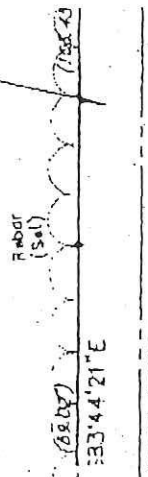
SCALE: NONE	DATE: Dec. 11, 2003	PROJ. No. 1561-00-180	BY: TMB
LAST REV.			



EVANS HILL ENVIRONMENTAL, INC.
 ENVIRONMENTAL ENGINEERS & CONSULTANTS

Note: Installation contractor is responsible to verify the depth and location of all underground utilities and stormwater facilities.

PROPOSED 15' WIDE ACCESS EASEMENT AREA - 0.626 SQ. FT.



Note: Absorption area must be a minimum of 100 feet from all wells on or off the property.

Note: Installation contractor is responsible to verify testing locations and all elevations. Any discrepancies must be reported to the CCHD SEO and the designer.

SEE ADDENDUM

ABSORPTION AREA

PRESSURE DOSED TRENCHES

Four (4) 6' wide X 70' long TRENCHES

Lateral Length

- Lateral 1 68.00' long w/ (9) 1/4" holes
- Lateral 2 66.75' long w/ (8) 1/4" holes
- Lateral 3 65.00' long w/ (7) 1/4" holes
- Lateral 4 65.00' long w/ (7) 1/4" holes

Four (4) 2.0" laterals

Depth = 36" Upslope
29" Downslope

SEE ADDENDUM

Permittee is informed of the requirement to obtain a well permit prior to beginning construction of the well and the structures.

SEE PERMIT CONDITIONS 1-6

NOTICE:
Contact Municipal Codes Enforcement Officer for Erosion Control Requirements

<p>EVANS MILL ENVIRONMENTAL, INC. P.O. Box 735 101 Fellowship Road Uwchland, PA 19480 (610) 458-8300</p>	<p>CMR DEVELOPMENT, North Bailey Road, Swift Property, Tax Parcel # 39-1-78.1 Calm Township, Chester County</p>	<p>SEWAGE FACILITY LOCATION PLAN</p>
<p>Scale: 1" = 50'</p>	<p>Date: December 11, 2003</p>	<p>By: TMB</p>
<p>Permit # T 008425</p>	<p>EME No: 1561-00</p>	<p>Permit # T 008425</p>

RECEIVED
DEC 12 2003
CHESTER COUNTY
HEALTH DEPARTMENT

CHESTER COUNTY HEALTH DEPARTMENT
Bureau of Environmental Health Protection

SPECIFICATIONS FOR PROPOSED ON-LOT SEWAGE DISPOSAL SYSTEM

Name: CMR Development Application #: T 008425

Municipality: Caln Township Twp. Date: 12/11/2003

- 1.) Building Sewer: Type PVC Sch 40 Diameter 4 in
 (Section 73.21)
- 2.) Primary Treatment: No. of Septic Tanks 1 Vol. 1st compartment 625 gal
 (Section 73.31 & 73.32) Vol. 2nd compartment 625 gal
 No. Aerobic Tanks _____
 No. Holding Tanks _____
 (Requires Holding Tank Design Sheets)
 Total Tank capacity: 1250 gal

- 3.) Distribution: Gravity _____
 Lift Pump _____ (Requires Lift Pump Data Sheets)
 Dosing Pump X (Requires Dosing Pump Data Sheets)

- 4.) Secondary Treatment: Seepage Bed _____
 Standard Trench _____ X
 Subsurface Sand Filter Bed* _____
 Subsurface Sand Filter Trench* _____
 Elevated Sand mound Bed* _____
 Elevated Sand Mound Trench* _____

*Requires Pressure Dosing (73.16 - Table A)

- 5.) Slope: (Note Exact) _____ 0 - 8%
 _____ 9.0% 8.1 - 14.9%
 _____ 15 - 25% - Attach detailed design, designer
 inspection required (73.52(a))

- 6.) Absorption Area: Stone Aggregate Systems
- Trenches: Number 4 Length 70 Width 6 ft.
 (Section 73.52) Space between trenches 5 ft. Distribution Box (y/n) No
- Beds: Number N/A Length N/A ft. Width N/A ft.
 (Section 73.53) Space between Beds N/A ft.
 Length of Header Pipe N/A ft. Dia. N/A inches
 Length of Manifold N/A ft. Dia. N/A inches

7.) ALL ABSORPTION AREAS:

Depth of Absorption Area: 36 inches upslope 29.52 inches downslope

Number of Laterals 4 Distance between Laterals 11 ft.

Length of Laterals See Attached Plan View Pipe type PVC Sch 40 Dia. 2 "

Distance between Laterals and Sidewalls: 3 ft.

Distance between Header Pipes / Lateral ends and Endwalls: See Attached Plan View

Lateral Slope: Level

Type of Aggregate 2B Clean Depth under Lateral 6 "

Depth over Lateral 2 "

Aggregate covered by: Hay/Straw _____ Paper X
Geotextile _____ Other (specify) _____

8.) Sand Systems: Depth of Sand 0 "

Supplied by: PA DEP Approved Source

Will the absorption area and treatment tank meet the isolation distance requirements of Section 73.13(a), (b), (c) Y/N Y. If NO, the proper Release Agreements must be recorded and attached.

Prepared by: Evans Mill Environmental, Inc. Approved by: _____
Designer CCHD

ANY CHANGES IN THE LOCATION, SIZE OR OTHER DESIGN ASPECTS OF THIS SYSTEM REQUIRE PRIOR APPROVAL BY THIS DEPARTMENT.

- Note
- o Four (4) copies of this form and all other design forms must be submitted.
 - o Upon notification of completion, this Department has 72 hours from the completion time to make inspection. To facilitate inspections, the contractor should call this Department 24 hours in advance of completion.

ALL REFERENCES ARE TO TITLE 25, CHAPTER 73: STANDARDS FOR SEWAGE FACILITIES.



CHESTER COUNTY HEALTH DEPARTMENT
Bureau of Environmental Health Protection

DOSING PUMP DATA SHEET

Name: CMR Development Application #: T 008425

Municipality: Caln Township Twp. Date: 12/11/2003

DATA: USE SPECIFIED PUMP ONLY! NOTIFY DESIGNER OF ANY ELEVATION CHANGES.

1.) Sewage Pump: Manufacturer Goolds Model # 3.885-WE05H

2.) Sewage Flow At Design Head: 56.428 GPM @ 22.788 Ft.

3.) Pump Discharge Rate : (Peak) 56.428 GPM @ 22.788 Ft.

4.) Critical Elevations: (From Topographical Plans)

a.) Grade at Pump Station: 100.00 Ft. e.) Pump On: 94.00 Ft.

b.) Tank Floor: 92.00 Ft. f.) Pump Off: 93.00 Ft.

c.) Intake Invert: 92.50 Ft. g.) Alarm On: 94.25 Ft.

d.) Manifold: 107.50 Ft.

5.) Pump Tank: Reading Precast - 1000 Gal. (2 x dose vol. + 100 gal.)

Rectangular: 90" L 56" W 49.5"D Round: _____ Dia. _____ Depth
(USE INTERNAL TANK DIMENSIONS)

6.) Discharge Type PVC SCH40 Diameter 2 in.
(All Pipe Must be Schedule 40 or Equivalent)

7.) Fittings:	Quantity		Equiv. Lth. (ft.)	=	Total	
Reg 90 Elbow	<u>1</u>	x	<u>5.55</u>	=	<u>5.55</u>	
Long 90 Elbow	<u>0</u>	x	<u>4.00</u>	=	<u>0.00</u>	
45 Elbow	<u>1</u>	x	<u>2.58</u>	=	<u>2.58</u>	
In-Line Tees	<u>0</u>	x	<u>11.10</u>	=	<u>0.00</u>	
Branching Tees	<u>0</u>	x	<u>12.00</u>	=	<u>0.00</u>	
Increasesers	<u>0</u>	x	<u>2.00</u>	=	<u>0.00</u>	
Reducers	<u>0</u>	x	<u>2.00</u>	=	<u>0.00</u>	Total Equivalent Length
Gate/Ball Valves	<u>0</u>	x	<u>1.00</u>	=	<u>0.00</u>	<u>52.18</u>
Cplings/Quick Disc.	<u>3</u>	x	<u>1.35</u>	=	<u>4.05</u>	Calculations will use
Check Valve	<u>0</u>	x	<u>15.40</u>	=	<u>0.00</u>	<u>58</u>
Force Line	<u>1</u>	x	<u>40.00</u>	=	<u>40.00</u>	

8.) HYDRAULIC PROFILE submit the following drawings:

- a.) A Profile showing all elevations changes and fittings from the Pump Tank to the Manifold.
- b.) A typical profile view of the absorption area showing the lateral elevation in beds or individual trenches.

9.) Laterals: Submit a drawing of a typical lateral for beds or individual laterals for trench systems. The details should begin at the manifold showing the length of the lateral, number of orifices, orifice diameter and orifice spacing.

CALCULATIONS

10.) Total Equiv. Lth. of Disch. Pipe and fittings: 58 ft.

Total Equiv. Lth. of manifold and fittings: "See computer printout"

Sewage Flow: (Design) 56.428 gpm

11.) Friction Head: 3.702 ft. (F.H.)

12.) Static Head: 14.500 ft. (#4.(d) - #4. (c) = S.H.)

13.) Residual Head: 4.587 ft. (Head to be maintained at terminal end of Laterals - R.H.)

14.) Total Head: 22.788 ft. (F.H. + S.H + R.H. = T.H.)

15.) Dose Volume: 305.2 Gal. (Reference Ch. 73, 73.45 (2)) 19' float on/off range

- NOTE:
- A HIGH LEVEL ALARM MUST BE PROVIDED & CONNECTED TO AN ELECTRICAL CIRCUIT WHICH IS SEPARATE FROM THE PUMP. (21.8g/100l)
 - ALL ELECTRICAL CONTROLS MUST BE MOISTURE RESISTANT AND BE LOCATED OUTSIDE THE WET WELL OF THE TANK.
 - THE PUMP TANK ACCESS MUST BE TO GRADE AND BE SECURED BY BOLTS, A LOCKING MECHANISM OR HAVE SUFFICIENT WEIGHT TO PREVENT ACCESS BY CHILDREN.
 - IT IS RECOMMENDED THAT A MAXIMUM 1 1/2 INCH VENT BE INSTALLED ON THE PUMP TANK. VENTING SHOULD BE SCREENED TO PREVENT ACCESS BY INSECTS AND VECTORS.

Prepared by: Evans Mill Environmental, Inc. Approved by: _____
(Designer) (CCHD)

ANY CHANGES TO THESE SPECIFICATIONS REQUIRES PRIOR APPROVAL BY THIS DEPARTMENT.

FOUR (4) COPIES OF THIS FORM MUST BE SUBMITTED.



Evans Mill Environmental, Inc.
101 Fellowship Road
P.O. Box 735
Uwchland, PA 19480
(610) 458-8300
FAX (610) 458-7168

Project Name: **CMR Development**
Lot #: **TX parcel 39-1-78.1**
Property Location: **North Bailey Road**
Property Owner: **CMR Development**
Application #: **T 008425**

Number of Bedrooms: **4**
Average Daily Flow (Gal.): **500**
Average Perc. Rate **87**
Slope at Absorption Area: **9%**
Trench Type: **Standard Trench**
Minimum Required Area (Sq Ft): **1640.5**
Area Used in System (Sq Ft): **1680** (1.024x Required Area)
Number of Laterals: **4**
Trench length (Feet): **70**
Trench Width (Feet): **6**
Distance from Manifold to Bed (ft): **3**
Manifold Connects to Laterals at: **End of Lateral**
Fittings between Manifold and Bed: **3.00 feet of 2.00 diameter pipe**
Lateral Diameter (In): **2.00 (Avg. I.D. = 2.049)**
Manifold Diameter (In): **2.00 (Avg. I.D. =)**
Pipe Material: **PVC Sch 40**

Notes - Lateral #1 is at highest elevation and greatest distance from pump.
Friction losses calculated using Hazen-Williams equation.



SUMMARY

Total Flow (GPM) Through Laterals:

	Flow (GPM)	Head (PSI)	Head (Feet)	Holes	Gal. Per Sq. Ft.
Lateral 1:	14.239	1.986	4.587	9	0.0339
Lateral 2:	14.006	2.431	5.616	8	0.0333
Lateral 3:	13.469	2.937	6.783	7	0.0320
Lateral 4:	14.714	3.505	8.096	7	0.0350

Totals: 56.428
Highest Flow 0.035
Lowest Flow 0.032
Difference: 9.25% (Maximum Allowed: 10%)

Internal Volumes: Laterals and Manifold = 49.6 Delivery Line = 6.4
Required Minimum Dose Volume (Gallons) = (49.6 + 6.4) x 5 = 280

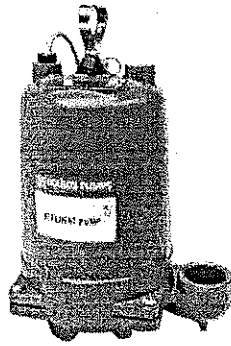
Velocity in Delivery Line (Feet per Second) 5.490
Total Friction Head Loss (Feet) From Start of
Manifold to Last Orifice in Lateral 1: 0.6789
Maximum Allowable Friction Head Loss: 0.6880

Dosing Pump Selection

Diameter - nominal (Avg. I.D.):	2.0 (2.049)	
Equivalent Lengths (Feet):	(Number - Feet)	
Regular 90 Degree Elbows:	1 - 5.55	
Long 90 Degree Elbows	0 - 0	
45 Degree Elbows:	1 - 2.58	
In-Line Tees	0 - 0	
Branching Tees	0 - 0	
Increases	0 - 0	
Reducers	0 - 0	
Gate/Ball Valves	0 - 0	
Couplings / Quick Disconnects:	3 - 4.05	
Check Valve	0 - 0	
Force Line	1 - 40	
Pipe Length	40.000	
Sum of Equivalent Lengths:	52.18	
Length Used For Design:	58.00	
Highest Lateral Invert Elevations (Feet)		107.50
Pump Station low Water (Pump Off) Elevation (Feet):		93.00
System Static Head (Feet)		14.50
Pressure Head At Last Orifice (Feet):		4.59 (Feet) or 1.99 PSI
Sum Of Friction Losses In:		
Delivery System (Feet):		3.023
Last Lateral And Manifold (Feet):		0.679
Total Dynamic Head At Pump		22.788

Pump should have a minimum rated design capacity of
56.428 GPM at a total dynamic head of 22.788 Feet.

	Pump Selected
Number Of Pumps	1
Manufacturer	GOULDS
Model Number	3885-WE05H
Horsepower	1/2
RPM	3500
Voltage	230
Phase	single
Hertz	60
Minimum Rated Pump Capacity	56.428 GPM at TDH of 22.788 Feet



#T 008925
Submersible Effluent Pump

MODEL 3885

WE Series

PROSURANCE AVAILABLE FOR RESIDENTIAL APPLICATIONS.

WE05H

APPLICATIONS

Specifically designed for the following uses:

- Homes
- Farms
- Trailer courts
- Motels
- Schools
- Hospitals
- Industry
- Effluent systems

SPECIFICATIONS

Pump

- Solids handling capabilities: 3/4" maximum.
- Discharge size: 2" NPT.
- Capacities: up to 140 GPM.
- Total heads: up to 128 feet TDH.
- Temperature: 104°F (40°C) continuous, 140°F (60°C) intermittent.
- See order numbers on reverse side for specific HP, voltage, phase and RPM's available.

FEATURES

- **Impeller:** Cast iron, semi-open, non-clog with pump-out vanes for mechanical seal protection. Balanced for smooth operation. Silicon bronze impeller available as an option.
- **Casing:** Cast iron volute type for maximum efficiency. 2" NPT discharge.
- **Mechanical Seal:** SILICON CARBIDE VS. SILICON CARBIDE sealing faces. Stainless steel metal parts, BUNA-N elastomers.

- **Shaft:** Corrosion-resistant, stainless steel. Threaded design. Locknut on all models to guard against component damage on accidental reverse rotation.
- **Fasteners:** 300 series stainless steel.
- Capable of running dry without damage to components.
- Designed for continuous operation when fully submerged.

MOTORS

- Fully submerged in high-grade turbine oil for lubrication and efficient heat transfer.
- Class B insulation on 1/2-1 1/2 HP models.
- Class F insulation on 2 HP models.

Single phase (60 Hz):

- Capacitor start motors for maximum starting torque.
- Built-in overload with automatic reset.
- SJTOW or STOW severe duty oil and water resistant power cords.
- 1/2 and 1/2 HP models have NEMA three prong grounding plugs.
- 3/4 HP and larger units have bare lead cord ends.

Three phase (60 Hz):

- Class 10 overload protection must be provided in separately ordered starter unit.
- STOW power cords all have bare lead cord ends.
- **Designed for Continuous Operation:** Pump ratings are within the motor manufacturer's recommended working limits,

can be operated continuously without damage when fully submerged.

■ **Bearings:** Upper and lower heavy duty ball bearing construction.

■ **Power Cable:** Severe duty rated, oil and water resistant. Epoxy seal on motor end provides secondary moisture barrier in case of outer jacket damage and to prevent oil wicking. Standard cord is 20'. Optional lengths are available.

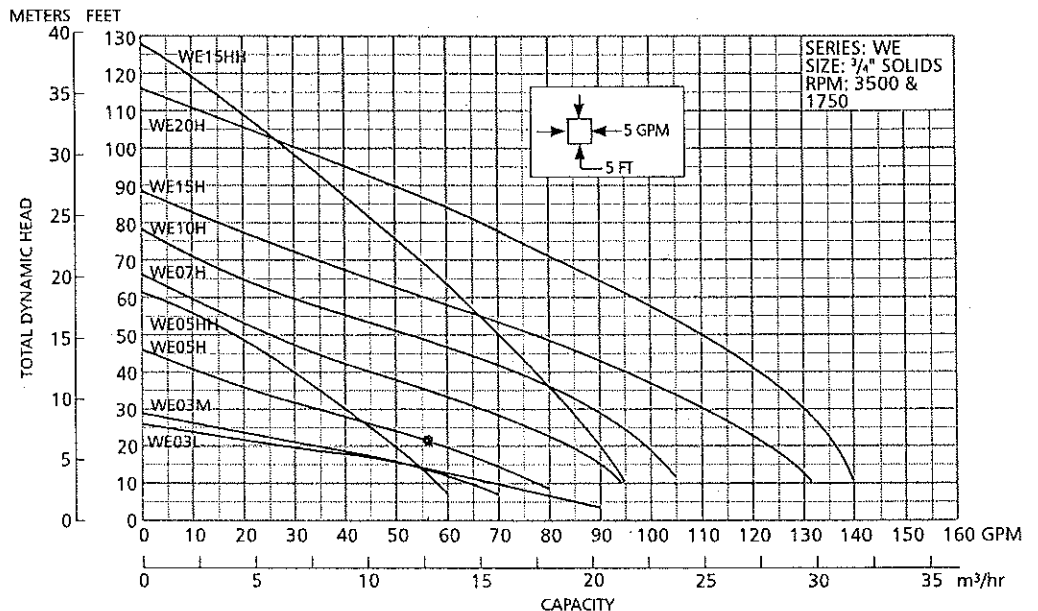
■ **O-ring:** Assures positive sealing against contaminants and oil leakage.

AGENCY LISTINGS



Tested to UL 778 and CSA 22.2 108 Standards By Canadian Standards Association File #LR38549

Goulds Pumps is ISO 9001 Registered.



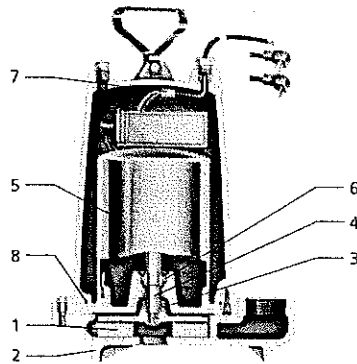
Submersible Effluent Pump

MODEL 3885

WE Series

COMPONENTS

Item No.	Description
1	Impeller
2	Casing
3	Mechanical Seal
4	Motor Shaft
5	Motor
6	Ball Bearings
7	Power Cable
8	Casing O-Ring



MODELS

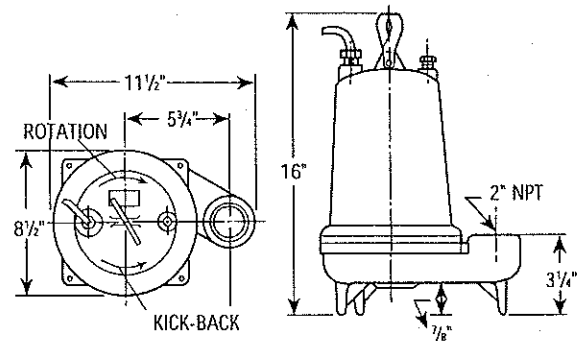
Order No.	HP	Volts	Phase	Max. Amp.	RPM	Solids	Wt. (lbs.)					
WE0311L	1/3	115	1	10.7	1750	3/4"	56					
WE0318L		208		6.8								
WE0312L		230		4.9								
WE0311M		115		10.7								
WE0318M		208		6.8								
WE0312M		230		4.9								
WE0511H	1/2	115	3	14.5	3500	3/4"	60					
WE0518H		208		8.1								
WE0512H		230		7.3								
WE0538H		200		4.9								
WE0532H		230		3.3								
WE0534H		460		1.7								
WE0537H		575		1.4								
WE0511HH		115		14.5								
WE0518HH		208		8.1								
WE0512HH		230		7.3								
WE0538HH		200		4.9								
WE0532HH		230		3.6								
WE0534HH	460	1.8										
WE0537HH	575	1.5										
WE0718H	3/4	208	1	11.0	3500	3/4"	70					
WE0712H		230		10.0								
WE0738H		200		6.2								
WE0732H		230		5.4								
WE0734H		460		2.7								
WE0737H		575		2.2								
WE1018H	1	208	3	14.0	3500	3/4"	80					
WE1012H		230		12.5								
WE1038H		200		8.1								
WE1032H		230		7.0								
WE1034H		460		3.5								
WE1037H		575		2.8								
WE1518H		1 1/2		208				1	17.5	3500	3/4"	83
WE1512H				230					15.7			
WE1538H				200					10.6			
WE1532H				230					9.2			
WE1534H				460					4.6			
WE1537H				575					3.7			
WE1518HH	208		17.5									
WE1512HH	230		15.7									
WE1538HH	200		10.6									
WE1532HH	230		9.2									
WE1534HH	460		4.6									
WE1537HH	575		3.7									
WE2012H	2	230	3	18.0	3500	3/4"	83					
WE2038H		200		12.0								
WE2032H		230		11.6								
WE2034H		460		5.8								
WE2037H		575		4.7								

PERFORMANCE RATINGS (gallons per minute)

Order No.	WE03L	WE03M	WE05H	WE07H	WE10H	WE15H	WE05HH	WE15HH	WE20H
HP	1/3	1/3	1/2	3/4	1	1 1/2	1/2	1 1/2	2
RPM	1750	1750	3500	3500	3500	3500	3500	3500	3500
5	86	-	-	-	-	-	-	-	-
10	70	63	78	-	-	-	58	-	-
15	52	50	70	90	-	-	53	-	-
20	27	35	60	83	98	123	49	90	136
25	-	-	48	76	94	117	45	87	133
30	-	-	35	67	88	110	40	83	130
35	-	-	20	57	82	103	35	80	126
40	-	-	-	45	74	95	30	77	121
45	-	-	-	35	64	86	25	74	116
50	-	-	-	25	53	77	-	70	110
55	-	-	-	-	40	67	-	66	103
60	-	-	-	-	30	56	-	63	96
65	-	-	-	-	20	45	-	58	89
70	-	-	-	-	-	35	-	55	81
75	-	-	-	-	-	25	-	51	74
80	-	-	-	-	-	-	-	47	66
90	-	-	-	-	-	-	-	37	49
100	-	-	-	-	-	-	-	28	30

DIMENSIONS

(All dimensions are in inches. Do not use for construction purposes.)





Lateral Detail

----- Lateral 1----- Minimum Orifice Head 4.59

Number of Orifices	9
Distance Between Orifices	8.25
Distance from Edge of Bed to First Orifice (Feet)	2.00
Distance from End of Bed to End of Lateral (Feet)	2.00
Lateral Length (Feet)	68.00
Orifice Diameter (16ths of an Inch)	4.0000
Head Entering Lateral (Feet)	4.720
Head Loss in Elbow (Feet)	0.023
Manifold to Lateral Connector Head Loss (Feet)	0.012
Lateral Invert Elevation (Feet)	107.500

Reach or Orifice Number	Reach Flow (GPM)	Reach Friction Loss (Feet)	Orifice Head (Feet)	Orifice Flow (GPM)
1:	14.239	0.008	4.677	1.582
2:	12.657	0.027	4.649	1.582
3:	11.075	0.021	4.628	1.582
4:	9.493	0.016	4.612	1.582
5:	7.911	0.011	4.601	1.582
6:	6.328	0.008	4.594	1.582
7:	4.746	0.004	4.589	1.582
8:	3.164	0.002	4.587	1.582
9:	1.582	0.001	4.587	1.582
Totals:		0.098		14.239

----- Lateral 2----- Minimum Orifice Head 4.59

Number of Orifices	8
Distance Between Orifices	9.25
Distance from Edge of Bed to First Orifice (Feet)	2.00
Distance from End of Bed to End of Lateral (Feet)	3.25
Lateral Length (Feet)	66.75
Orifice Diameter (16ths of an Inch)	4.0000
Head Entering Lateral (Feet)	5.764
Head Loss in Tee (Feet)	0.044
Manifold to Lateral Connector Head Loss (Feet)	0.012
Lateral Invert Elevation (Feet)	106.500
Manifold Segment Length (Feet)	11.000
Manifold Segment Head Loss (Feet)	0.045
Flow Through Manifold Segment (GPM)	14.239

Reach or Orifice Number	Reach Flow (GPM)	Reach Friction Loss (Feet)	Orifice Head (Feet)	Orifice Flow (GPM)
1:	14.006	0.008	5.701	1.751
2:	12.255	0.029	5.673	1.751
3:	10.504	0.021	5.651	1.751
4:	8.753	0.015	5.636	1.751
5:	7.003	0.010	5.626	1.751
6:	5.252	0.006	5.620	1.751
7:	3.501	0.003	5.617	1.751
8:	1.751	0.001	5.616	1.751
Totals:		0.093		14.006

----- Lateral 3----- Minimum Orifice Head 4.59

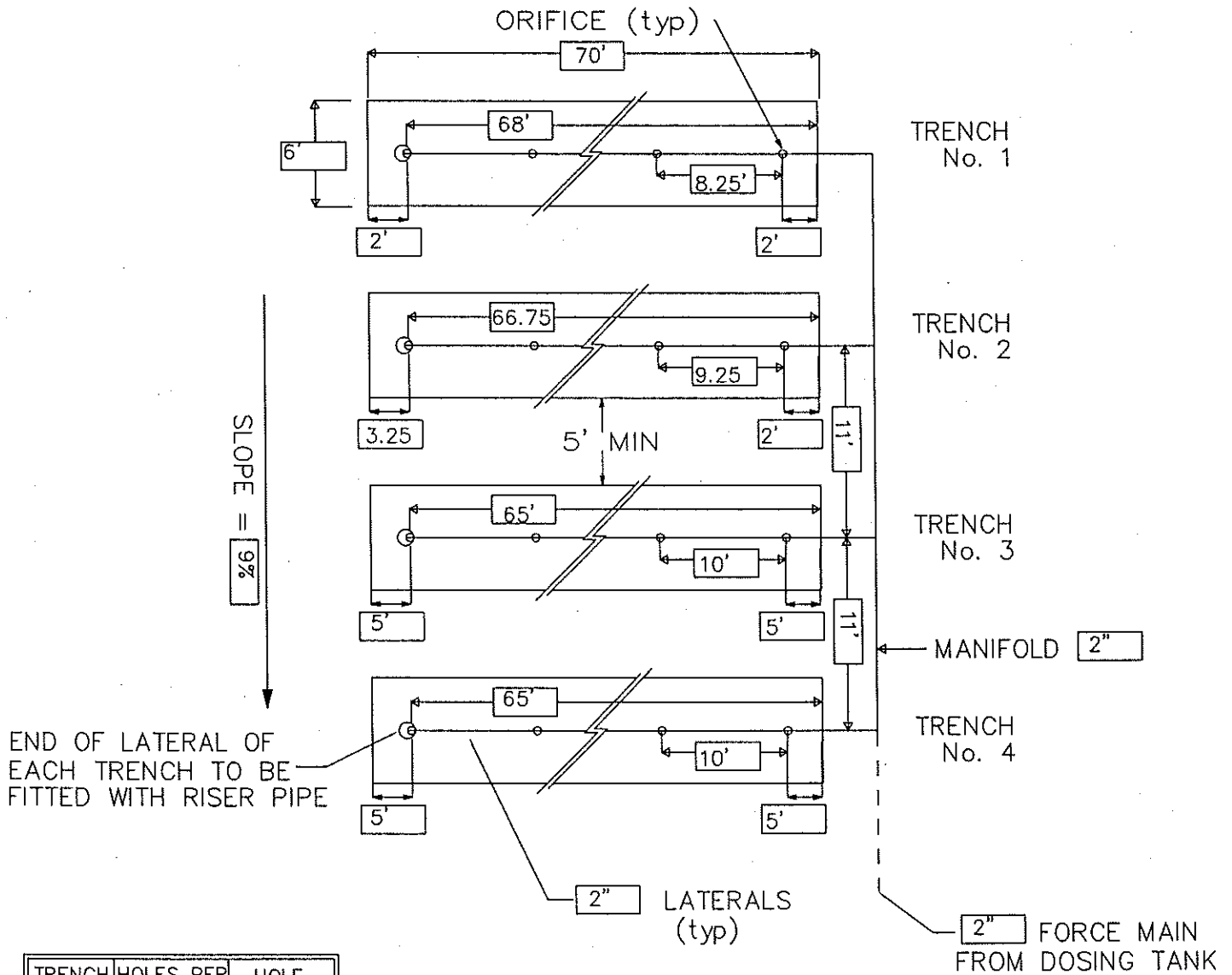
Number of Orifices	7
Distance Between Orifices	10.00
Distance from Edge of Bed to First Orifice (Feet)	5.00
Distance from End of Bed to End of Lateral (Feet)	5.00
Lateral Length (Feet)	65.00
Orifice Diameter (16ths of an Inch)	4.0000
Head Entering Lateral (Feet)	6.926
Head Loss in Tee (Feet)	0.041
Manifold to Lateral Connector Head Loss (Feet)	0.011
Lateral Invert Elevation (Feet)	105.500
Manifold Segment Length (Feet)	11.000
Manifold Segment Head Loss (Feet)	0.162
Flow Through Manifold Segment (GPM)	28.478

Reach or Orifice Number	Reach Flow (GPM)	Reach Friction Loss (Feet)	Orifice Head (Feet)	Orifice Flow (GPM)
1:	13.469	0.018	6.856	1.924
2:	11.544	0.028	6.829	1.924
3:	9.620	0.020	6.809	1.924
4:	7.696	0.013	6.796	1.924
5:	5.772	0.008	6.788	1.924
6:	3.848	0.004	6.784	1.924
7:	1.924	0.001	6.783	1.924
Totals:		0.091		13.469

----- Lateral 4----- Minimum Orifice Head 4.59

Number of Orifices	7
Distance Between Orifices	10.00
Distance from Edge of Bed to First Orifice (Feet)	5.00
Distance from End of Bed to End of Lateral (Feet)	5.00
Lateral Length (Feet)	65.00
Orifice Diameter (16ths of an Inch)	4.0000
Head Entering Lateral (Feet)	8.265
Head Loss in Tee (Feet)	0.048
Manifold to Lateral Connector Head Loss (Feet)	0.013
Lateral Invert Elevation (Feet)	104.500
Manifold Segment Length (Feet)	11.000
Manifold Segment Head Loss (Feet)	0.339
Flow Through Manifold Segment (GPM)	42.484

Reach or Orifice Number	Reach Flow (GPM)	Reach Friction Loss (Feet)	Orifice Head (Feet)	Orifice Flow (GPM)
1:	14.714	0.022	8.182	2.102
2:	12.612	0.033	8.150	2.102
3:	10.510	0.023	8.126	2.102
4:	8.408	0.015	8.111	2.102
5:	6.306	0.009	8.102	2.102
6:	4.204	0.004	8.098	2.102
7:	2.102	0.001	8.096	2.102
Totals:		0.107		14.714



TRENCH No.	HOLES PER TRENCH	HOLE DIAMETER
1	9	1/4"
2	8	1/4"
3	7	1/4"
4	7	1/4"

PLAN VIEW TRENCHES

4TR-RIGHT



ENVIRONMENTAL ENGINEERS & CONSULTANTS

Appl. #T 008425 CMR DEVELOPMENT
 Tax Parcel # 39-1-78.1, North Bailey Road
 Caln Township, Chester County

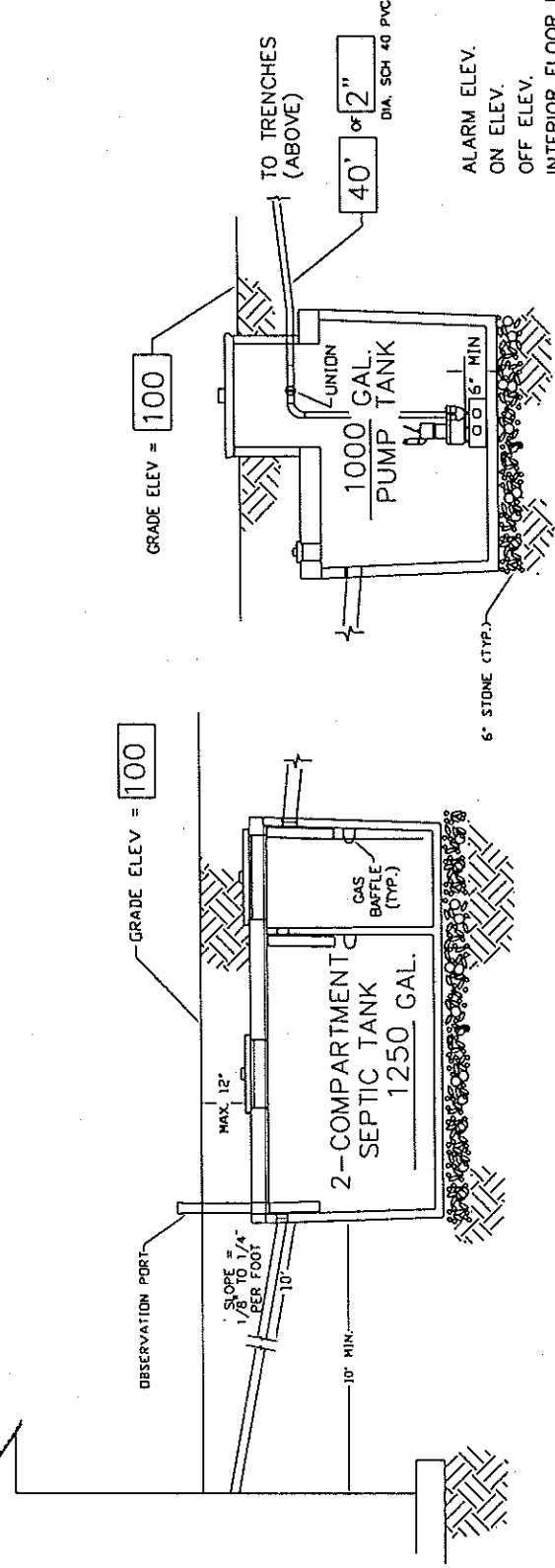
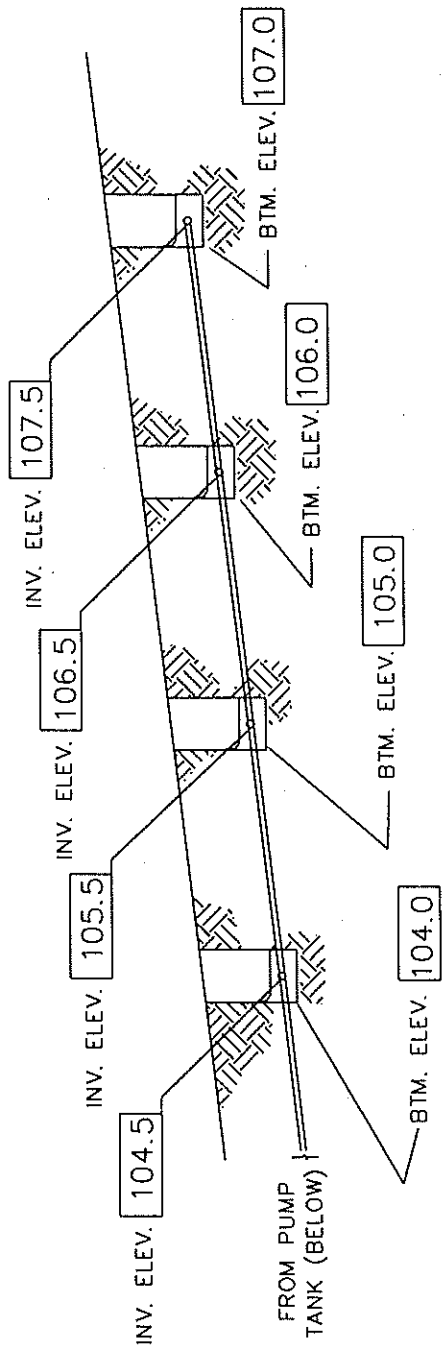
SCALE: NONE

DATE: Dec. 11, 2003

BY: TMB

PROJ. No. 1561-00-180

LAST REV.



ALARM ELEV.	94.25
ON ELEV.	94
OFF ELEV.	93
INTERIOR FLOOR ELEV.	92

HYDRAULIC PROFILE

NOT TO SCALE

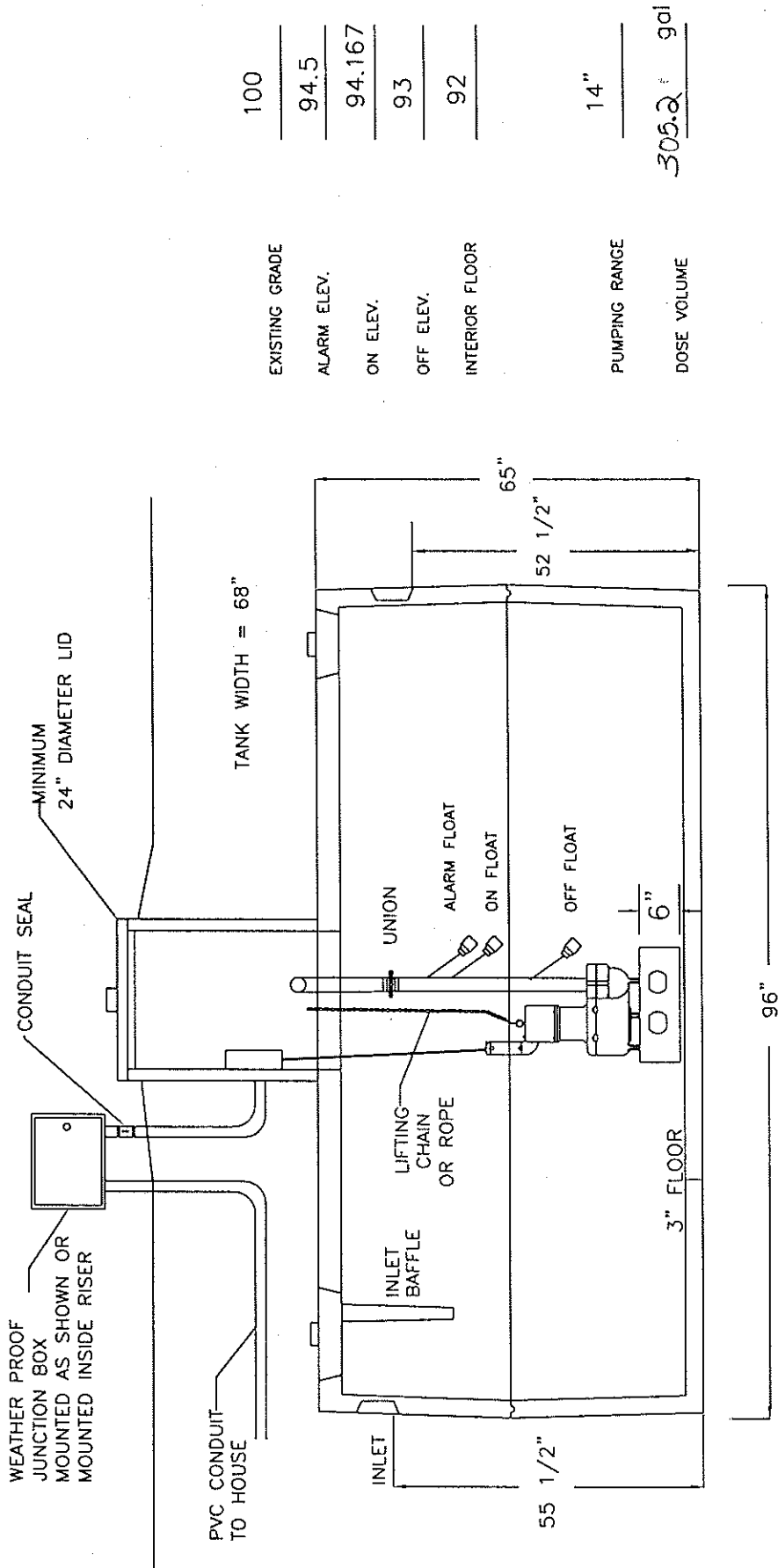
STD4-2COMPST

Appl. # T 008425 CMR DEVELOPMENT
 Tax Parcel # 39-1-78.1, North Bailey Road
 Caln Township, Chester County

SCALE: NONE	DATE: Dec. 11, 2003	PROJ. No. 1561-00-180	BY: TMB
LAST REV.			



EVANS MILL ENVIRONMENTAL, INC.
 ENVIRONMENTAL ENGINEERS & CONSULTANTS



EXISTING GRADE	100
ALARM ELEV.	94.5
ON ELEV.	94.167
OFF ELEV.	93
INTERIOR FLOOR	92
PUMPING RANGE	14"
DOSE VOLUME	305.2 gal

1000 GALLON PUMP STATION

(Internal Tank Dimensions - 90" long x 56" wide x 49.5" deep)
 (21.8 Gals per Inch)

As Manufactured By
 1000 gallon septic tank
 Reading Precast Concrete Products

	Appl. # T 008425 CMR DEVELOPMENT Tax Parcel # 39-1-78.1, North Bailey Road Cain Township, Chester County	DATE: Dec. 11, 2003 PROJ. No. 1561-00-180 BY: TMB
	SCALE: NONE	NONE



CHESTER COUNTY HEALTH DEPARTMENT

Main Office:
344-6526

South Branch:
869-0560

NAME: Tom Swift SUBDIVISION: _____
LOCATION: N. Bailey Rd TOWNSHIP: _____
ONE CALL SERIAL #: _____ CALL DATE: _____ CONTRACTOR: _____

LOT # _____ TEST PIT # 10/30/02 APPLICATION # 7019069 SLOPE % 7
Soil Log 0 to 7 DK Br many roots Si Lo Gran Fri Grad.
7 to 31 Rd Br Si Cl Mod SBK Firm Grad
31 to 72 Van SACL Mod SBK Fri
72 to _____
_____ to _____

Limiting Zone is at 92" inches due to rock/mottling Perc at 24-36 inches
Mottling due to: _____ Perched/High Water table _____ Do not perc. Site unsuitable (see above)
_____ Other _____ Confirmation Pit Limiting Zone= _____
Soil Profile Similar To: _____

SITE PLAN

COMMENTS _____

I, the undersigned, the (agent for) OWNER do hereby acknowledge receipt of notice from the Chester County Health Department's completion of the inspection of the deep hole dug for test purposes in connection with the above captioned sewage permit application number, said notice is given by said Department in accordance with 35 P.S. 750.7 Et. Seq. I further acknowledge that all test holes must be backfilled within (3) three days of the date of this notice.

[Signature] 10/31/02 [Signature]
ENFORCEMENT OFFICER DATE RECEIVED BY



CHESTER COUNTY HEALTH DEPARTMENT
SITE INVESTIGATION AND PERCOLATION
TEST REPORT FOR ON-LOT DISPOSAL OF SEWAGE

Applicant: TOM SWIFT Telephone: 717-299-6631 Application No.: T019069 Date of Test: 10-31-02
 Property Address: CALN MEETING HOUSE Municipality: CALN Chester County
 Soil Type: _____ Slope: 7 % Person Conducting Test: G. HOLCOMB
 Average Stabilized Percolation Rate: 86.13
 Weather Conditions: Below 40° 40° F or above Dry Rain Sleet, Snow (last 24 hours)
 Soil Conditions: Wet Dry Frozen

PERCOLATION DATA

Hole No.	Depth of Hole	Water Remaining After Initial Presoak	Final Presoak		1st Reading		2nd Reading		3rd Reading		4th Reading		5th Reading		6th Reading		7th Reading		8th Reading	
			30 min.	60 min.	Time	Drop	Time	Drop	Time	Drop	Time	Drop	Time	Drop	Time	Drop	Time	Drop	Time	Drop
1	24	0	2 ³ / ₈	1 ⁷ / ₈	30	1 ⁷ / ₈	30	1 ⁷ / ₈	30	1 ⁷ / ₈	30	1 ⁷ / ₈								
2	36	↓	3 ¹ / ₂	2 ³ / ₄	↓	2 ⁷ / ₈	↓	2 ⁷ / ₈	↓	2 ³ / ₄	↓	2 ⁷ / ₈								
3	24	↓	0	0	↓	0	↓	0	↓	0	↓	0								
4	36	↓	3 ⁷ / ₈	1 ¹ / ₄	↓	0	↓	1 ¹ / ₄	↓	0	↓	1 ¹ / ₄								
5	24	↓	3 ⁷ / ₈	3 ³ / ₄	↓	3 ⁷ / ₈	↓	3 ¹ / ₈	↓	3 ¹ / ₈	↓	2 ⁷ / ₈	30	2 ⁷ / ₈						
6	36	↓	3 ⁷ / ₈	3 ⁷ / ₈	↓	1 ¹ / ₄	↓	1 ¹ / ₄	↓	3 ⁷ / ₈	↓	1 ¹ / ₄								

CALCULATION OF AVERAGE PERCOLATION RATE

Hole No.	Drop During Final Period	Perc. Rate as Minutes/Inch	Depth of Hole
1	1 ⁷ / ₈	16.0	24"
2	2 ⁷ / ₈	10.4	36"
3	0	240.0	24"
4	1 ¹ / ₄	120.0	36"
5	2 ⁷ / ₈	10.4	24"
6	1 ¹ / ₄	120.0	36"
TOTAL OF Min/In →		516.8	= 86.13 Min/Inch
TOTAL No. of HOLES →		6	

PLOT PLANS OF TEST PITS AND PERCOLATION HOLES

SEE FIELD REPORT
FOR LOCATION

I verify that the facts set forth in the foregoing report are true and correct and are in accordance with the standards outlined by the current Rules and Regulations of the Chester County Health Department. I understand that false statements are made subject to the penalties of 18 Pa. C.S.A. section 4904 relating to unsworn falsification to authorities.

G. HOLCOMB
Name - Print or Type
G. Holcomb
Signature

MCGOVERN & CO. 1144 W. BALD. PK.
Address
KENNETT SQ., PA 19348

SOIL DESCRIPTION

Provide soil profile description by horizons from each pit dug for evaluation. Include the following items in describing each soil horizon: depth in inches, soil texture (USDA), mottling (if present), percentage of coarse fragments (by volume), depth to noticeable water seepage (if present), depth to water level in excavation (if present), any other pertinent data.

Inches	Description of Horizon	Depth to Limiting Zone:
0 To _____	_____	_____ Inches
To _____	_____	
To _____	_____	
To _____	_____	
To _____	_____	
To _____	_____	



COMMONWEALTH OF PENNSYLVANIA
DEPARTMENT OF ENVIRONMENTAL PROTECTION
BUREAU OF WATER SUPPLY AND WASTEWATER MANAGEMENT

**SITE INVESTIGATION AND PERCOLATION
TEST REPORT FOR ONLOT DISPOSAL OF SEWAGE**

INSTRUCTIONS FOR COMPLETION OF THIS FORM ARE LOCATED ON THE REVERSE SIDE

Application No. T 008425 Municipality Caln Twp. County Chester

Site Location North Bailey Road Subdivision Name Swift Property Tx # 39-1-78.1

SUITABLE Soil Type _____ Slope 9% Depth to Limiting Zone _____ Ave. Perc. Rate 86.13
 UNSUITABLE Mottling Seeps or Pondered Water Bedrock Fractures Coarse Fragments
 Perc. Rate Slope Unstabilized Fill Floodplain Other _____

SOILS DESCRIPTION:

Soils Description Completed by: CCHD Date: 10/31/02

Inches	Description of Horizon
0 TO _____	_____
_____ TO _____	_____
_____ TO _____	_____
_____ TO _____	SEE ATTACHED TP LOG
_____ TO _____	_____
_____ TO _____	_____

PERCOLATION TEST:

Percolation Test Completed by: G. Holcomb Date: 10-31-02

Weather Conditions: Below 40°F 40°F or above Dry Rain, Sleet, Snow (last 24 hours)
 Soil Conditions: Wet Dry Frozen

Hole No.	***		Reading Interval	Reading No. 1: Inches of drop	Reading No. 2: Inches of drop	Reading No. 3: Inches of drop	Reading No. 4: Inches of drop	Reading No. 5: Inches of drop	Reading No. 6: Inches of drop	Reading No. 7: Inches of drop	Reading No. 8: Inches of drop
	Yes	No									
1	XX		10/30	1 7/8	1 7/8	1 7/8	1 7/8				
2	XX		10/30	2 7/8	2 7/8	2 3/4	2 7/8				
3	XX		10/30	0	0	0	0				
4	XX		10/30	0	1/4	0	1/4				
5	XX		10/30	3 3/8	3 1/8	3 1/8	2 7/8	2 7/8			
6	XX		10/30	1/4	1/4	3/8	1/4				

***Water remaining in the hole at the end of the final 30-minute presoak? Yes, use 30-minute interval; No, use 10-minute interval.

Calculation of Average Percolation Rate:

Hole No.	Drop during final period	Perc. Rate as Minutes/Inch	Depth of Hole
1	1 7/8 "	16.0	24 "
2	2 7/8 "	10.4	36 "
3	0 "	240	24 "
4	1/4 "	120	36 "
5	2 7/8 "	10.4	24 "
6	1/4 "	120	36 "
TOTAL OF MIN / IN →		516.8	= 86.13
TOTAL NO. OF HOLES →		6	

The information provided is the true and correct result of tests conducted by me, performed under my personal supervision, or verified in a manner approved by DEP.

(S) _____
Sewage Enforcement Officer

Copy Type:

Local Agency (White) Applicant (Yellow) Local DEP Office (Pink)



**PRE-SOAK AND PERC FORM
CHESTER COUNTY HEALTH DEPARTMENT**

MAIN OFFICE
(610) 344-6526

SOUTH BRANCH
(610) 869-0560

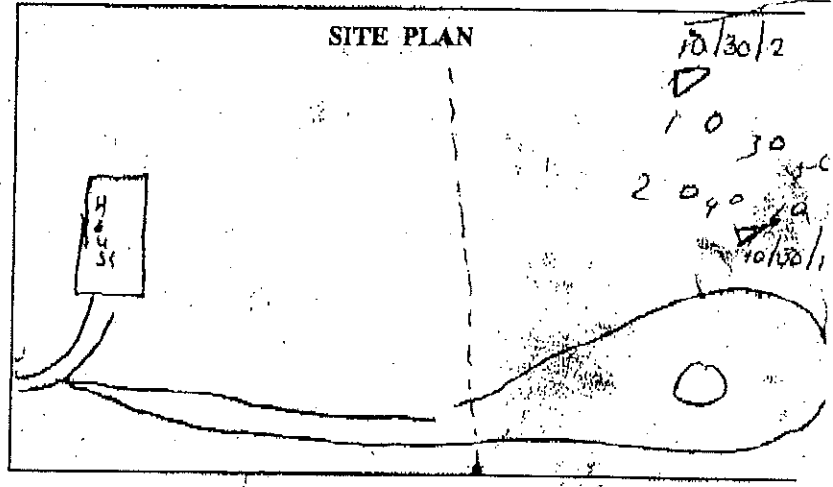
NAME: Tom Swift TOWNSHIP: Calw APPLICATION #: T 019069
 SUBDIVISION: _____ CONTRACTOR: M. G. Grooms
 LOCATION: 702 Calw Maching House P. BAILEY TEST PIT: 10/30/15'2 LOT #: _____ SLOPE: 7 %
 INITIAL PRESOAK WAS CHECKED ON: 10/30/02 HOLES WERE DUG AT DEPTH(S) OF 36+24 IN.
 AND APPEARED TO BE PROPERLY PREPARED AND PRESOAKED. LL

ENFORCEMENT OFFICER SIGNATURE

Hole #	Remaining Water	P.S. 1	P.S. 2	1	2	3	4	5	6	7	8	Time Interval
1.	E	2 3/8	1 7/8			1 7/8	1 7/8					30/10 min.
2.	E	3 1/8	2 3/4			2 3/4	2 7/8					30/10 min.
3.	E	0	0			1 8	0					30/10 min.
4.	E	3 1/8	1 1/4			0	1/4					30/10 min.
5.	E	3 1/8	3 1/4			3 1/8	2 7/8					30/10 min.
6.	E	3 1/8	3 1/8			3 1/8	1/4					30/10 min.
7.												30/10 min.
8.												30/10 min.

WITNESSED READING #'S: Present 3rd 4th

COMMENTS: _____



SLOPE = _____

I, the undersigned, the (agent for) OWNER do hereby acknowledge receipt of notice from the Chester County Health Department's completion of the inspection of observation percolation test holes dug for test purposes in connection with the above captioned sewage permit application number, said notice is given by said Department in accordance with 35 P.S. 750.7 Et. Seq. I further acknowledge that all test holes must be backfilled within five (5) days of the date of this notice.

LL
 ENFORCEMENT OFFICER

10/31/02
 DATE

W. Holcomb
 RECEIVED BY

RECEIVED
DEC 12 2003
CHESTER COUNTY
HEALTH DEPARTMENT

ALAN J. JARVIS, ESQUIRE
744 EAST LINCOLN HIGHWAY
COATESVILLE, PA 19320
610-384-1151
610-380-1392/Fax

September 25, 2003

James T. Owens, Esquire
25 South Church Street
West Chester, PA 19382-3220

**Re: Application of Tom Swift
Caln Township Zoning Hearing Board – No. 2003-17**

Dear Jim:

I am taking this opportunity to enclose for you a copy of the Decision and Order of the Caln Township Zoning Hearing Board. You will note that the Order, dated September 17, 2003, confirms the Action of the Zoning Hearing Board on September 4, 2003, in granting the following Variances to your Client:

1. A Variance from the minimum front yard requirement of 50 feet (50') at the street line (Section 155-27.B).
2. A Variance from the minimum front yard requirement of 125 feet (125') at the setback line (Section 155-27.C).
3. A Variance from the 10 foot (10') setback that is required for an access driveway (Section 155-142.H).

If you have any questions about the Board's Actions, you are certainly free to give me a call. You should also feel free, if necessary, to contact Caln Township Zoning Officer Andrew F. Reczek.

Sincerely,



Alan J. Jarvis

AJJ:mkc
Enclosure

cc: Mr. Andrew F. Reczek, Code Official/Zoning Officer, Caln Township Municipal Building, 253 Municipal Drive, Thorndale, PA 19372 (W/Return of Record)
Mr. Jeffrey W. McClintock, Director, Caln Township Department of Engineering and Code Enforcement, Caln Township Municipal Building, 253 Municipal Drive, Thorndale, PA 19372 (Enclosure)
Mr. Gregory Prowant, Caln Township Manager, Caln Township Municipal Building, 253 Municipal Drive, P.O. Box 72149, Thorndale, PA 19372 (Enclosure)
Mr. Stanley F. Bowman, Jr., Chairman, Zoning Hearing Board, 402 Municipal Drive, Thorndale, PA 19372 (Enclosure)

(Calnzhb/SwiftTom-Owens)

*cc: Jarvis
file
success
file*

Alan J. Jarvis, Solicitor
744 East Lincoln Highway
Coatesville, PA 19320
610-384-1151
610-380-1392/Fax

Caln Township Zoning Hearing Board
Attorney I.D. No. 16134

RE: APPLICATION OF : BEFORE THE ZONING HEARING BOARD
TOM SWIFT : CALN TOWNSHIP, CHESTER COUNTY
: NO. 2003-17

DECISION

I. STATEMENT OF THE CASE

This matter comes before the Zoning Hearing Board of Caln Township, Chester County, Pennsylvania, on the Application of Tom Swift (hereinafter referred to as "Swift") for variances from the following provisions of the Caln Township Zoning Ordinance of 1999, as amended: (1) Section 155-27.B, which requires a minimum lot width of fifty feet (50') at the street line, (2) Section 155-27.C, which requires a minimum lot width of one hundred twenty-five feet (125') at the setback line, and (3) Section 155-142.H, which prohibits access driveways from being within ten feet (10') of any property line. Swift is in need of the requested variances in order to develop a "landlocked" lot to the rear of the property at 1106 North Bailey Road, Caln Township, Chester County, Pennsylvania. The property is in the R-2 Low-Density Residential District.

The Application was received at the Caln Township Municipal Building on July 15, 2003. The Hearing on the Application was scheduled for 7:00 p.m., Thursday, September 4, 2003. The date of the Hearing, which is beyond the sixty (60) days in which a Hearing must be held under the provisions of both the Municipalities Planning Code and the Caln Township Zoning Ordinance, was requested by Swift's attorney due to his (i.e. the attorney's) unavailability on the first Thursday of August (August 7, 2003). Zoning Hearings usually are scheduled for the first Thursday of the month. [See MPC, Section 908(1.2), and Zoning Ordinance, Section 155-163.A.] Swift's attorney waived both the MPC and the Zoning Ordinance provisions by letter dated July 24, 2003. Notices of the Hearing were thereupon mailed to Swift, James T. Owens, Esquire, Swift's attorney, the nearby property owners, a list of which accompanied the

Application, the Zoning Hearing Board Members, the Caln Township Planning Commission Members, the Zoning Officer, the Chester County Planning Commission, and the Court Reporter's Office, on August 13, 2003. That same day Hearing Notices were hand-delivered to the Caln Township Municipal Building for the Township Commissioners, Caln Township Manager, Township Secretary and Planning Commission Secretary. These services fulfilled the requirements of Section 155-163.A(3 and 4).

The Hearing Notice was published in the Daily Local News on August 14 and 21, 2003, as required by Section 155-163.A(3). The Notice requirements were completed with the posting of the property on August 25, 2003, as required by Section 908(1) of the Municipalities Planning Code. 53 P.S. 10908(1). On that date a copy of the Hearing Notice was posted on a post at the driveway entrance to the property on North Bailey Road.

The Hearing, scheduled for 7:30 p.m., commenced at approximately 7:40 p.m., at the Caln Township Municipal Building. Those in attendance included Stanley F. Bowman, Jr., Zoning Hearing Board Chairman, Eugene Martini and Harry Weyman, Zoning Hearing Board Members, Alan J. Jarvis, Zoning Hearing Board Solicitor, Andrew F. Reczek, Zoning Officer, Tom Swift, the Applicant, James T. Owens, Swift's attorney, and William H. Handy, Court Reporter.

At the commencement of the Hearing the following were marked as Board Exhibits:

<u>Exhibit</u>	<u>Description</u>
B-1	Caln Township Zoning Ordinance of 1999, as amended.
B-2	Current Caln Township Zoning Map.
B-3	Application of Tom Swift for variances from (1) Section 155-27.B, requiring a minimum lot width of fifty feet (50') at the street line, (2) Section 155-27.C, requiring a lot width of one hundred twenty-five feet (125') at the setback line, and (3) Section 155-142.H, prohibiting access driveways from being within ten feet (10') of any property line.
B-4	Fax transmission of 7/22/03, from Alan J. Jarvis, Zoning Hearing Board Solicitor, to James T. Owens, Esquire, attorney for Swift, requesting waiver of MPC Section 908(1.2) and Zoning Ordinance Section 155-163.A, in order to schedule

- Hearing more than sixty (60) days beyond Application date, as requested by Applicant's attorney.
- B-5 Fax transmission of 7/24/03, from James T. Owens, Esquire, to Alan J. Jarvis, ZHB Solicitor, waiving applicability of MPC Section 908(1.2) and Zoning Ordinance Section 155-163.A, with respect to Swift's Application.
- B-6 Hearing Notice.
- B-7 Proof of Publication in Daily Local News.
- B-8 Affidavit of Posting.
- B-9 Review letter dated August 25, 2003, from Andrew F. Reczek, Zoning Officer.

Swift was the only person sworn to give testimony concerning the Application. He testified that he purchased the parcel at Tax Sale on October 9, 1984, and that the Deed evidencing his ownership is recorded in the Office of the Recorder of Deeds of Chester County, Pennsylvania, in Deed Book X-64, Page 255. He also testified that the parcel is landlocked and that after his purchase he filed an Action before the Court of Common Pleas of Chester County (Case No. 93-03446), requesting that he be given the right to open a private road (driveway) across the property of Adrien Keifer that would provide his lot with a connection to North Bailey Road, a public road.

Swift further testified that on April 28, 1995, the jury of view that had been appointed in his case issued findings of fact and conclusions of law that authorized his opening of a private road along the northern boundary of Keifer's property, and to his parcel, which driveway was to be located within sixteen feet (16') of that northern boundary. On September 7, 2000, a second jury of view awarded Keifer damages for the private taking. The Court entered its final Order with respect to the award on October 30, 2001.

After the entry of the final Order, Swift commissioned a survey of his parcel and Keifer's, a copy of which was offered, and admitted, as Applicant's Exhibit "A-1." The survey, performed by Diehm & Sons, shows Keifer's property to be 414.14' in depth, and Swift's property to therefore be approximately 400' from the right-of-way of North Bailey Road, therefore making it impossible for the parcel to comply with either Section 155-27.B, requiring a minimum of 50' of lot frontage on a public road, since it has no frontage on any road, or Section

155-27.C(1), requiring a lot width of 125' at the setback line, where the setback line is the greater of 60' from the street right-of-way or 75' from the street centerline, and the parcel is approximately 400' from the street and well beyond any setback requirement.

The most controversial variance request was to establish the private road through Keifer's property. Although Keifer neither appeared herself or by counsel, her neighbor to the north, Doreen Jacoby, expressed concerns that the driveway was not paved and that a row of trees along the driveway was affected by the installation, to the point where branches were falling into her yard. Swift's request was for a 10' variance so that the driveway be permitted on the property line, but not extending on to Jacoby's property. During the course of Swift's testimony and Jacoby's questions of him, Mr. Owens offered Applicant's Exhibit "A-2," a photograph showing the path of the road through what had been three (3) rows of trees, the middle row of which had been removed for the road. Zoning Officer, Andrew F. Reczek, also introduced Township Exhibits "T-1" and "T-2," showing the existing 16' wide area with gravel poured for the driveway. Ms. Jacoby suggested that the entire driveway be paved, however, Mr. Reczek noted that the Township's Ordinance with respect to driveways only requires that they be paved through the right-of-way. Public comments were also received from area residents Harley Baker and James Burns.

No one else offered either testimony of public comments concerning the Application.

After brief deliberation the Board then unanimously approved the three variance requests.

II. FINDINGS OF FACT

- A. Swift is the owner of a parcel of land to the rear of 1106 North Bailey Road, Caln Township, Chester County, Pennsylvania, having purchased it at Tax Sale on October 9, 1984. (Chester County Tax Parcel No. 39-1-78.)
- B. The parcel is presently unimproved, having only a driveway going to it from North Bailey Road and along the northern boundary of the property of Adriene Keifer.

- C. The property is entirely within the R-2 Low Density Residential District.
- D. The property is “landlocked,” and is approximately 400’ from the right-of-way of North Bailey Road, necessitating variance requests due to the parcel’s incapacity to comply with the requirements of Section 155-27.B (lot width at property line) and Section 155-27.C (lot width at the setback line).
- E. In proceedings before a jury of view of the Court of Common Pleas of Chester County (No. 93-03466), Swift was awarded the right to establish a road (driveway) through Keifer’s property from North Bailey Road, provided that the road had to be within sixteen feet (16’) of Keifer’s northern boundary with the property of Doreen Jacoby.
- F. Swift requests a ten foot variance from Section 155-142.H, in order to locate his proposed driveway within Keifer’s property, but along the boundary of the Jacoby property.

III. CONCLUSIONS OF LAW

- A. The Zoning Hearing Board may grant variances from the provisions of the Zoning Ordinance where it is demonstrated that unnecessary hardship results from the enforcement of those provisions. Section 155-164.D.
- B. One of the criteria to be assessed in determining whether a variance should be granted in a given case is whether the property has “unique physical circumstances” limiting the possibility that it can be developed in “strict conformity” with the Zoning Ordinance, Section 155-164.D(a and b). Unique physical circumstances exist in this case with respect to the setback requirements of the R-2 Low-Density District, namely Section 155-27.B (lot width at the street line) and Section 155-27.C (lot width at the setback line), since the lot is a landlocked lot, approximately 400’ from the right-of-way of North Bailey Road,

and incapable of satisfying either of these setback requirements. A unique physical hardship also exists with respect to the location of the access driveway, since the jury of view limited its placement to within sixteen feet of the northern boundary of the Keifer property, along Jacoby's parcel. Since Section 155-142.H requires that access driveways must be ten feet (10') from an adjoining property, this variance request is justified, otherwise Swift's property would be limited to one six feet (6') in width and ten feet (10') away from Jacoby's property.

- C. An additional criteria to be evaluated in determining whether a variance should be granted is whether an Applicant has created the hardship about which he now complains, Section 155-164.D(c). Swift has been responsible for none of the hardships.
- D. Another criteria to be reviewed by the Board is whether the grant of a variance in a given case will alter the essential character of the neighborhood, substantially or permanently affect the use or development of adjacent properties, or be detrimental to the public welfare, Section 155-164.D(d). There has been no compelling evidence that surrounding properties will be adversely affected by Swift's proposed use of the parcel for development with a single-family dwelling, nor has there been compelling testimony that surrounding properties or the district (R-2) will be adversely impacted by the location of the driveway as requested by Swift.
- E. A final criteria to be evaluated is whether the variance requested represents the minimum variance that will afford relief and whether it is also the least modification possible to the regulation at issue, Section 155-164.D(e). The Board concludes that the proposed location of the access driveway, in fact, represents the minimum variance necessary to provide the relief requested, as

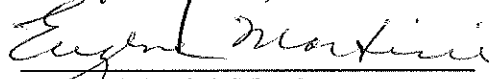
well as the least modification to the Sections from which variances are sought. Moreover, the setback requirements cannot be met, given the landlocked nature of the parcel and its distance from North Bailey Road.


IV. CONCLUSION

AND NOW, this 17 day of SEPTEMBER, 2003, after Hearing on September 4, 2003, it is hereby **ORDERED** that Tom Swift be **GRANTED** variances from the following Sections of the Caln Township Zoning Ordinance of 1999, as amended, so the lot (Chester County Tax Parcel No. 39-1-78) can be developed: (1) Section 155-27.B, which would otherwise require that the lot have a minimum front yard of fifty feet (50') at the street line, (2) Section 155-27.C, which would otherwise require that the lot have a minimum front yard of one hundred twenty-five feet (125') at the setback line, and Section 155-142.H, to permit an access driveway on the Keifer property as proposed in Applicant's Exhibit "A-1," along its boundary with the Jacoby property, when the ordinance would otherwise require that the access driveway be a minimum of ten feet (10') from any property line. It is further **ORDERED** that Swift comply with all other applicable Ordinances, rules and regulations affecting his proposed development.

**CALN TOWNSHIP
ZONING HEARING BOARD**


Stanley F. Bowman, Chairman


Eugene Martini, Member


Harry Weyman, Member

TOWNSHIP OF CALN
253 MUNICIPAL DR
THORNDALE, PA. 19372
610/384-0400

CERTIFICATE OF OCCUPANCY

Building Permit No. 2006-00070-BUI UCC Certificate of Occupancy No. 8931

Zoning District _____

REMARKS

Permission is hereby given:
ROBERT & CHRISTINA MORROW
(owner of use)
ROBERT AND CHRISTINA MORROW
owner (new)
GRABER SUPPLY, LLC
contractor

Use Type: ACCESSORY BUILDING
AREA BETWEEN BARLEY SHEAF & BONDSVILLE
(Lot & Development)

At: 1104 BAILEY RD., COATESVILLE, PA 19320

For: ACCESSORY STRUCTURE

Joseph Arway 2-8-12
Building Inspector DATE

Robert T. H. 2/8/2012
Zoning Officer/Building Code Official DATE

APPROVED AS TO COMPLIANCE
WITH ZONING ORDINANCE.

INSPECTION ASSIGNMENT SHEET

Building Permit No. 2006-00070-BUI

Location 1104 BAILEY RD., COATESVILLE, PA 19320

Owner ROBERT & CHRISTINA MORROW

Contractor GRABER SUPPLY, LLC (610-593-3500)

Description ACCESSORY BUILDING

Comments

SITE INSPECTION PRIOR TO BEGINNING CONSTRUCTION

CRS 4/7/06 60' REAR 60' SIDE 100' FRONT 12.6 TO EXISTING DWELLING

ROUGH FRAMING INSPECTION PRIOR TO INSULATION OR INTERIOR COVERING (rough electrical inspection should be completed and all utilities installed, e.g. plumbing, mechanicals, etc...)

FINAL INSPECTION (performed after work is complete and PRIOR TO USING OR OCCUPYING CONSTRUCTION)

*2-6-12 24x40 accessory building
installed as per plans
11'+ from garage
30' rear yard
30' side yard*



CALN TOWNSHIP

DEPARTMENT OF CODE ENFORCEMENT

Andrew F. Reczek, Director of Code Enforcement
Gary E. Shesko, Housing Officer/Deputy Fire Marshall
Stephen L. Miller, Code Official/Deputy Fire Marshall

www.calntownship.org

610-384-0400 fax: 610-384-0689 Email: andy@calntownship.org
253 Municipal Drive, P.O. Box 72149 Thomdale, Pa. 19372-0149

March 16, 2006

Mr. Robert Morrow
1104 North Bailey Road
Coatesville, PA 19320

PERMIT REVIEW: 24' x 40' Accessory Barn

1. Install and maintain all Erosion and Sedimentation control measures needed to prevent storm water run-off.
2. All work must comply with the 2003 International Residential and Energy Codes.
3. Electrical wiring needed for proper power and lighting distribution shall be installed in accordance with the 2003 International Electrical Code and the latest edition of the NEC All electrical wiring must be inspected and approved by a Caln Township approved underwriter (list provided with permit).
4. Any Contractor performing work shall be registered in Caln Township
5. All footings shall be located on firm and stable ground a minimum of 36" below finished grade.
6. All lumber in contact with the ground shall be decay resistant in accordance with Section R319
7. Load bearing support girders shall be a minimum (2) 2" x 12" when spanning up to 8'1" in accordance with Table R502.5 (1). Proper connection shall be made with a minimum 1/2" bolt
8. Roof trusses shall not be spaced more than 24" on center
9. Structure shall not be used for the storage of vehicles.

(30A90W-Stock - 30A/24' Common)
 Top chord 2x4 SPF 2100F-1.8E
 Bot chord 2x4 SPF 2100F-1.8E
 Webs 2x4 SPF Std/Stud

Roof overhang supports 2.00 psf soffit load.

IN LIEU OF STRUCTURAL PANELS OR RIGID CEILING USE PURLINS:
 START (FT) END (FT)
 CHORD SPACING (IN OC) 24 92
 TC 24 0.92
 BC 108 23.85

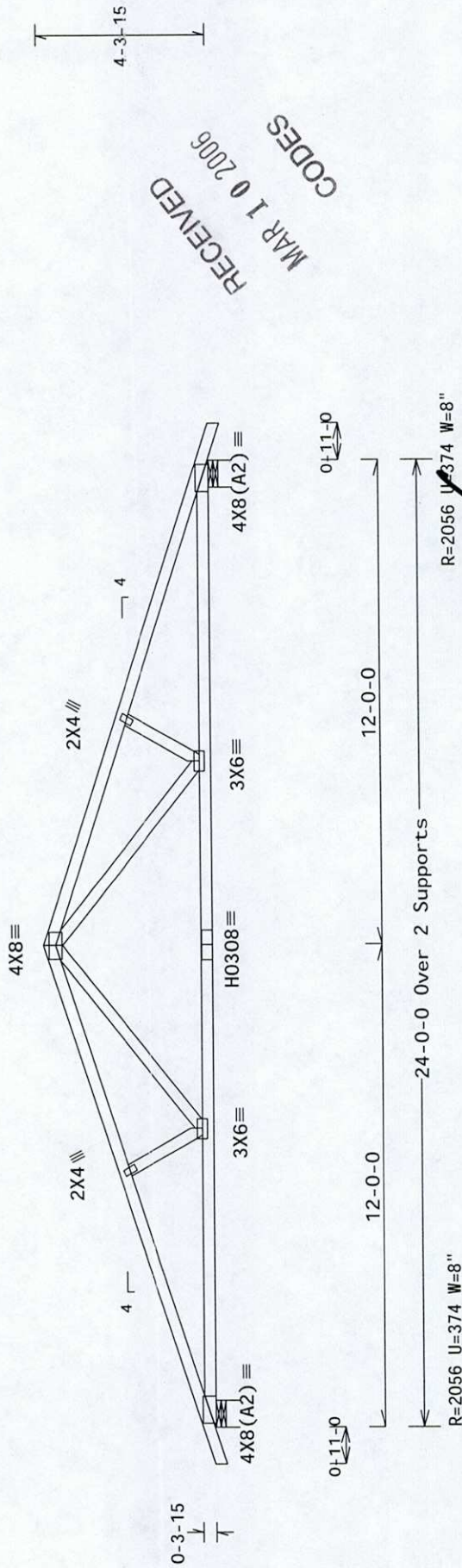
Bottom chord bracing may be spaced 120"oc when this truss design is used in post-frame construction.

90 mph wind, 15.00 ft mean hgt, ASCE 7-98, CLOSED bldg, Located anywhere in roof, CAT I, EXP C, wind TC DL=3.0 psf, wind BC DL=3.0 psf.

Dead loads are stated on projected horizontal area basis.

Trusses to be spaced at ~~48~~ 0" OC maximum. **24" o.c.**

Deflection meets L/240 live and L/180 total load.



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 CODES

PLT TYP. 20 Gauge HS, WAVE

Design Crit: TPI-2002(STD)
 Cq/RT=1.25(1.25)/0(0) 7.12.00

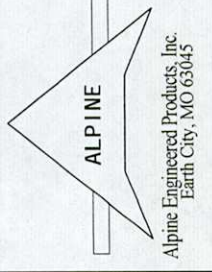
Scale = .25"/Ft.

REF	R6697- 92787
DATE	01/27/06
DRW	MOUSRG697 06027028
MO-ENG	SLS/SLS
SEQN-	68509
TOT.LD.	40.0 PSF
DUR.FAC.	1.15
SPACING	48.0"



****WARNING**** TRUSSES REQUIRE EXTREME CARE IN FABRICATION, INSTALLATION AND BRACING. REFER TO BEST PRACTICES FOR BUILDING TRUSSES (TRUSS INSTITUTE, 583 MADISON, WI 53719) AND WTC (WOOD TRUSS COUNCIL OF AMERICA, 6300 ENTERPRISE LN, MADISON, WI 53719) FOR SAFETY PRACTICES PRIOR TO PERFORMING THESE FUNCTIONS. UNLESS OTHERWISE INDICATED, TOP CHORD SHALL HAVE PROPERLY ATTACHED STRUCTURAL PANELS AND BOTTOM CHORD SHALL HAVE A PROPERLY ATTACHED RIGID CEILING.

****IMPORTANT**** FURNISH A COPY OF THIS DESIGN TO THE INSTALLATION CONTRACTOR. ALPINE ENGINEERED PRODUCTS, INC. SHALL NOT BE RESPONSIBLE FOR ANY DEVIATION FROM THIS DESIGN. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND INSTALLING & BRACING OF TRUSSES IN CONFORMANCE WITH ALL APPLICABLE PROVISIONS OF NDS (NATIONAL DESIGN SPEC. BY AF&PA) AND TPI. ALPINE CONNECTOR PLATES ARE MADE OF 20/18/16GA (W/H/S/A) ASTM A653 GRADE 40/60 (W, K/H-S) GALV. STEEL. APPLY PLATES TO EACH FACE OF TRUSS AND, UNLESS OTHERWISE LOCATED ON THIS DESIGN, POSITION PER DRAWINGS 100A-7. ANY INSPECTION OF PLATES FOLLOWED BY (1) SHALL BE PER ANNEX A3 OF TPI-2002 SEC.3. A SEAL ON THIS DRAWING INDICATES ACCEPTANCE OF PROFESSIONAL ENGINEERING RESPONSIBILITY. SOLELY FOR THE TRUSS COMPANY DESIGN SHOWN. THE SUITABILITY AND USE OF THIS COMPONENT FOR ANY BUILDING IS THE RESPONSIBILITY OF THE BUILDING DESIGNER PER ANSI/TPI 1 SEC. 2.





GRABER SUPPLY LLC
 491 GAP NEWPORT PIKE
 ATGLEN, PA 19310

Phone: (610) 593-3500
 Fax: (610) 593-2510

PROPOSAL

Proposal ID	Date
38316	3/10/2006
Sales Person	Page
IRA	1 of 2

Proposal To:

Bob Morrow
 1104 North Bailey Road
 Coatesville, PA 19320

Phone (610) 466-7000
 Fax (610) 466-1700
 Contact
 E-Mail

Description: 24x40x12

Proposal Description

Proposal to furnish all materials as listed below for building size as follows:
 (Note: Quality Material & Labor included.)

Width= 24 Length= 40 Eave Height= 12

One Row 2x6 Treated Skirt Board around bottom perimeter of building.

Concrete for base of poles.

Treated Pole Size= 4x6 Pole Spacing Side= 8' O.C. End= 8'-10' O.C.

Clear Span Truss Loading= 30-5-5; 90 mph wind Spacing= 2' O.C. Slope (Pitch)= 4/12

Overhang with boxed-in vented soffitt, Sides= 12" Ends= 12"

24" O.C. 2x4 Roof Purlin & Wall Girt Spacing.

*\$2800.00 paid
 Mastercard
 2-21-06
 for Wegley*

Painted 29 GA. Galvalume Roof and Sides with Screw Fasteners.
 (Note: Thirty-year limited warranty. Gray sides, Charcoal roof, trim, wainscoting)

Wainscoting: 3' high on one 24' end only

Doors Sides: 1-Steel Entry door solid

Doors End: 1-10x8 insulated Overhead Door White with 32" radius track

Windows: 2-36"x24" sliders; 1-34"x48" double hung insulate with grids Skylights/Sidelights: none

Insulation: 1/4" fanfold on roof only Interior Liner Walls & Ceiling: none

Total price including delivery and State sales tax.

See next page for terms and conditions.

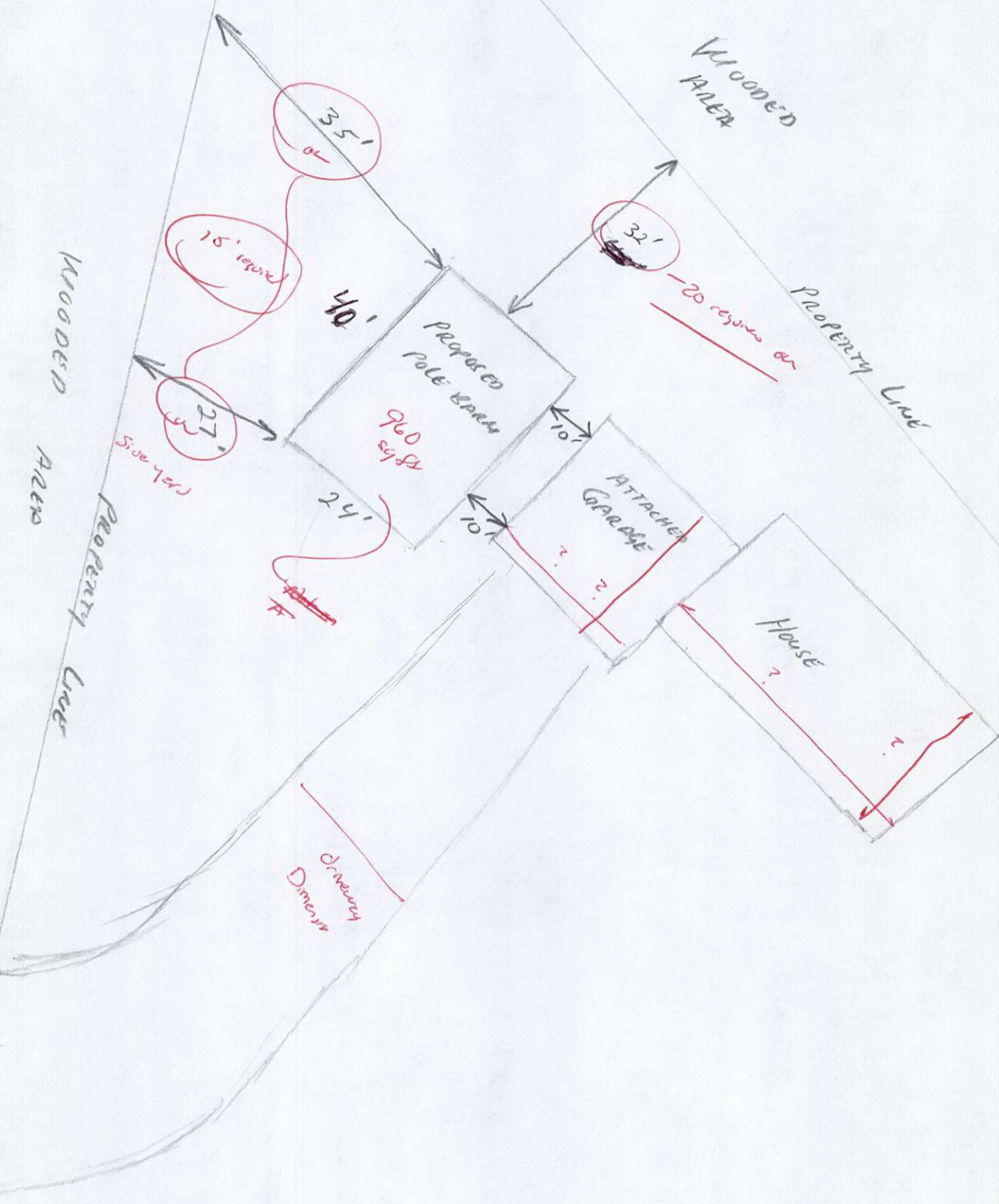
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MAR 10 2006

CODES

Continued on Next Page

1104 N. Bailey Rd



PROPERTY LINE

CALN TOWNSHIP
SITE / FOOTER / BACKFILL

LOCATION: 1104 N. BAILEY ROAD (Mordaw)

LOT #: _____

SITE

DATE: 4/7/06

FRONT 100' SIDE: 60' + 12.6 REAR 60'
To Existing Dwellings

FOOTER

DATE: _____

SIZE: _____ PIERS: _____

BOTTOM/SIDES: _____ TYPE SOIL: _____

FOOTER STEPPED: _____

RE-BAR: _____
(per approved plan/revisions from designer needed)

CONCRETE WEIGHT _____ DEPTH BELOW - TOPSOIL _____
GRADE _____

CONNECTON TO WALL - doweled \ keyed \ NA

BACKFILL

DATE: _____

WALL SIZE: _____ (block / poured)

ANCHOR BOLTS / STRAPS: _____ T/C FILLED / SOLID

AMPLE FROST PROTECTION OF FOOTERS: _____

THERMAL BARRIER PROVIDED FOR EXPOSTED AREAS OF SLAB: _____

FOUNDATION TREATMENT: dampproofed / waterproofed - explain _____

PERIMETER DRAIN PROVIDED: _____

SLEEVES PROVIDED FOR UTILITIES: _____

intended



1104 N. Bailey Rd. (Morrow) Pole Building Site Inspection
Concord, Pa.

4/7/06 J.S.

(30A90W-Stock - 30A/24' Common)

Top chord 2x4 SPF 2100f-1.8E
 Bot chord 2x4 SPF 2100f-1.8E
 Webs 2x4 SPF Std/Stud

Roof overhang supports 2.00 psf soffit load.

IN LIEU OF STRUCTURAL PANELS OR RIGID CEILING USE PURLINS:
 CHORD START(FT) END(FT)
 TC -0.92 24.92
 BC 0.15 23.85

Bottom chord bracing may be spaced 120"oc when this truss design is used in post-frame construction.

90 mph wind, 15.00 ft mean ht, ASCE 7-98, CLOSED bldg, Located anywhere in roof, CAT I, EXP C, wind TC DL=3.0 psf, wind BC DL=3.0 psf.

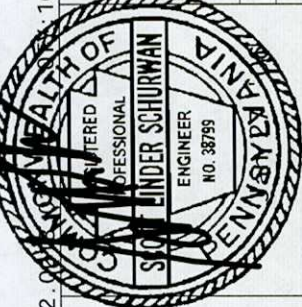
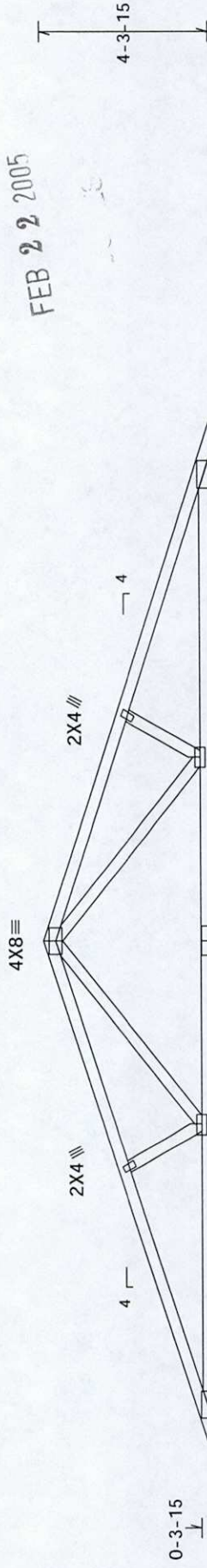
Dead loads are stated on projected horizontal area basis.

Trusses to be spaced at 48.0" OC maximum.

Deflection meets L/240 live and L/180 total load.

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FEB 22 2005

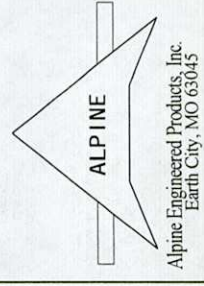


Design Crit: TPI-2002 (STD)
 Cq/RT=1.25(1.25)/0(0) 7.12.00

PLT TYP. 20 Gauge HS, WAVE

Scale = .25"/Ft.

REF	R6697- 92787
DATE	01/27/06
DRW	MOUSR6697 06027028
MO-ENG	SLS/SLS
SEQN-	68509
DUR.FAC.	1.15
SPACING	48.0"



WARNING** TRUSSES REQUIRE EXTREME CARE IN FABRICATION, HANDLING, SHIPPING, INSTALLING AND BRACING. PRODUCTS CONFORMANCE WITH TPI OR FABRICATING HANDLING, SHIPPING, INSTALLING & BRACING OF TRUSSES. DESIGN CONFORMS WITH APPLICABLE PROVISIONS OF NOS (NATIONAL DESIGN SPEC. BY AFAPA) AND TPI. ALPINE CONNECTOR PLATES ARE MADE OF 20/18/16GA (W/H/S/K) ASTM A653 GRADE 40/60 (W. K/H/S) GALV. STEEL. APPLY PLATES TO EACH FACE OF TRUSS AND, UNLESS OTHERWISE LOCATED ON THIS DESIGN, POSITION PER DRAWINGS 100A-Z. ANY INSPECTION OF PLATES FOLLOWED BY () SHALL BE PER ANNEX A3 OF TPI-2002 SEC.3. A SEAL ON THIS DRAWING INDICATES ACCEPTANCE OF PROFESSIONAL ENGINEERING RESPONSIBILITY SOLELY FOR THE TRUSS DESIGN. DESIGN SHOWN IS THE FACILITY USE OF THIS COMPONENT FOR ANY BUILDING IS THE RESPONSIBILITY OF THE BUILDING DESIGNER PER ANSI/TPI 1 SEC. 2.

(30A90W-Stock - 30A/24' Common)
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 Bot chord 2x4 SPF 2100f-1.8E
 Webs 2x4 SPF Std/Stud

Roof overhang supports 2.00 psf soffit load.

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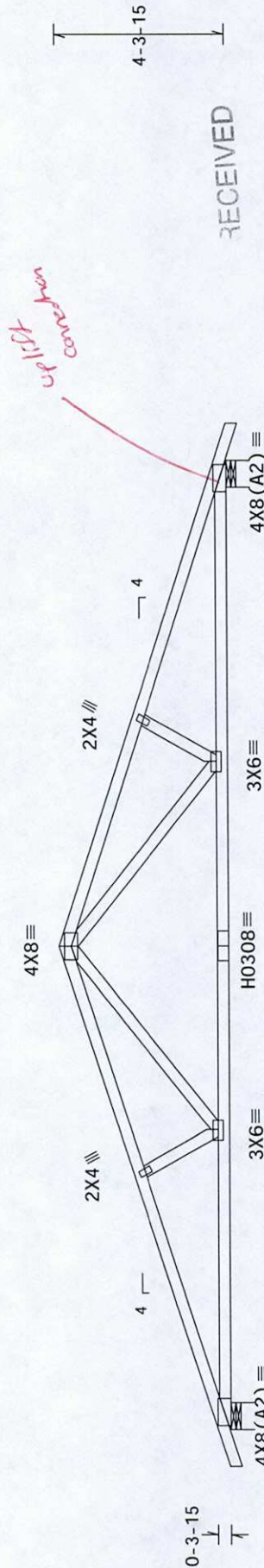
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90 mph wind, 15.00 ft mean hgt, ASCE 7-98, CLOSED bldg, Located anywhere in roof, CAT I, EXP C, wind TC DL=3.0 psf, wind BC DL=3.0 psf.

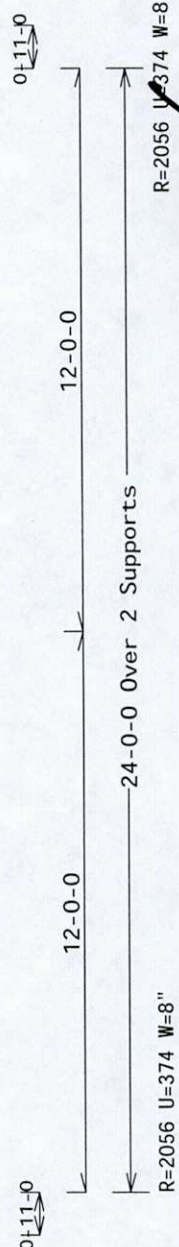
Dead loads are stated on projected horizontal area basis.

Trusses to be spaced at 48.0" OC maximum. *See uplift requirement*

Deflection meets L/240 live and L/180 total load.



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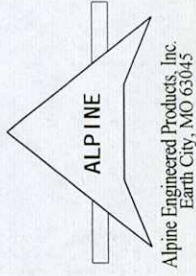


PLT TYP. 20 Gauge HS, WAVE	Design Crit: TPI-2002(STD)	Cq/RT=1.25(1.25)/0(0)	7.12.0	PAV-1/-/-/-/	Scale = .25"/Ft.
				TC LL	30.0 PSF
				TC DL	5.0 PSF
				BC DL	5.0 PSF
				BC LL	0.0 PSF
				TOT. LD.	40.0 PSF
				DUR. FAC.	1.15
				SPACING	48.0"
				REF	R6697- 92787
				DATE	01/27/06
				DRW	MOUSR6697 06027028
				MO-ENG	SLS/SLS
				SEQN-	68509
				JREF-	1SU86697Z01



****WARNING**** TRUSSES REQUIRE EXTREME CARE IN FABRICATION, HANDLING, SHIPPING, INSTALLING AND BRACING. REFER TO BC61 1-03 (BUILDING COMPONENT SAFETY INFORMATION), PUBLISHED BY TPI (TRUSS PLATE INSTITUTE, 583 D'ONOFRIO DR., SUITE 200, MADISON, WI 53719) AND WTCA (WOOD TRUSS COUNCIL OF AMERICA, 6300 ENTERPRISE LN, MADISON, WI 53719) FOR SAFETY PRACTICES PRIOR TO PERFORMING THESE FUNCTIONS. UNLESS OTHERWISE SPECIFIED, TOP CHORD SHALL HAVE PROPERLY ATTACHED STRUCTURAL PANELS AND BOTTOM CHORD SHALL HAVE A PROPERLY ATTACHED RIGID CEILING.

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Feet: 197.48
Miles: 0.04



Mode: Info

Status:

CHESTER COUNTY

UPI:	39-1-78.1
Owners:	MORROW ROBERT C II CHRISTINA M
Mail Address:	1104 N BAILEY RD COATESVILLE PA 19320
Situs Address:	1104 N BAILEY RD
Book:	6176
Page:	1766
Record Date:	6/3/2004
Lot Location:	W_REAR T442
Prop. Descrip:	TAC_DWG
Acres:	
Square Feet:	43560
LUC:	R-10
Lot Assmnt:	\$ 30,120
Total Assmnt:	\$ 245,840
Prop. Assmnt:	\$ 215,720
Last Sale:	\$ 314,845
Assmnt Date:	2/16/2005 2:39:57 PM



CALN TOWNSHIP

DEPARTMENT OF CODE ENFORCEMENT
Andrew F. Reczek, Director of Code Enforcement
Gary E. Shesko, Housing Officer/Deputy Fire Marshal
Stephen L. Miller, Code Official/Deputy Fire Marshal

www.calntownship.org

610-384-0600 fax: 610-384-0689 Email: andy@calntownship.org
253 Municipal Drive, P.O. Box 72149 Thorndale, Pa. 19372-0149

PROTOCOL FOR BUILDING PLAN SUBMITTAL

1. The Building Inspector has thirty (30) days to review applications.
2. Building Plans and Application will be accepted after completion of Land Development. Building permit application available on line @ www.calntownship.org.
3. Three set of plans must accompany submitted application with cross sections and details.
4. Provide plot plan showing all existing & proposed construction. No application will be accepted without the above information. Provide setback dimensions from any structure or paved surface to all property lines.
5. Sprinkler review & inspection to be provided by a third-party & are not included in the permit fee.
6. All Building Plans must be signed and sealed by a Design Professional registered in the Commonwealth of Pennsylvania unless otherwise indicated by Building Inspector.
7. The minimum fee will be collected at time of application. Caln Township Code Official will calculate total fee. Any additional fees will be collected prior to issuance of Permit. Fee schedule is available on line @ www.calntownship.org.
8. Swimming pool/hot tub applications must show required barrier protection.
9. All Construction documents must be provided with permit application, including Energy compliance information in accordance with the 2003 International Energy Conservation Code.
10. HVAC & Plumbing - Manufacturer's installation specs must be included. Provide floor plan showing location with clearances and material types.
11. Walls (over 4' in height)- must be accompanied by signed & sealed drawings.
12. Roof permits – Indicate whether existing roof is being removed. If so, provide pitch of roof, type of materials to be installed and any structural repairs. If placing new shingles over existing roof, please indicate.
13. Demolition applications – must include all utility shut off verifications, along with abandonment certifications of well & septic if applicable.
14. Tank applications – must provide certifications if applicable.
15. Caln Township reserves the right to reject any permit application that does not comply with above referenced requirements.
16. All Fire permits must be in accordance with NFPA 13. Indicate IBC Use Group. Indicate how fire alarm system is to be monitored.

SIGNATURE OF APPLICANT

DATE:

2/21/06



CALN TOWNSHIP

DEPARTMENT OF CODE ENFORCEMENT

Andrew F. Reczek, Director of Code Enforcement
Gary E. Shesko, Housing Officer/Deputy Fire Marshall
Stephen L. Miller, Code Official/Deputy Fire Marshall

www.calntownship.org

610-384-0400 fax: 610-384-0689 Email: andyr@calntownship.org
253 Municipal Drive, P.O. Box 72149 Thomdale, Pa. 19372-0149

March 9, 2006

Robert Morrow
1104 North Bailey Road
Coatesville, PA 19320

RE: Detached Accessory Structure

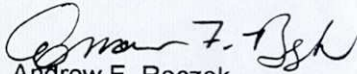
Dear Mr. Morrow:

This letter is to inform you that additional information is needed prior to building permit approval. Due to the size of the proposed structure and our code definitions, this building must be classified as a detached accessory structure rather than a shed. Sheds are limited in area to a maximum of 300 square feet. Please provide the following information;

- 1) The dimensions of your existing home, attached garage and driveway. This is required to allow the proper impervious and building coverage calculation to be performed.
- 2) Table R502.5 (1) of the 2003 International Building Code limits (2) 2" x 8" Load-bearing Beams and Girders in a 24' wide building to 6' 4 1/2". The plan provided shows these dimensions as approximately 8' on center. Please increase the beam dimensions or provide calculation supporting the existing feature
- 3) The "Truss Tie Down" detail is not sealed by a design professional. Figure R802.5.1 establishes the required truss connection to resist uplift for trusses spaced a maximum of 24" on center. Your plans reference truss spacing of 4' on center. Please provide the design professional's seal and signature on this detail along with the required calculations.
- 4) Please note the intended use of the proposed building. Buildings such as this used for the storage of vehicles require a noncombustible or asphalt floor surface.

Once the requested information has been provided, the review process can continue. Please feel free to contact me should you have any further questions

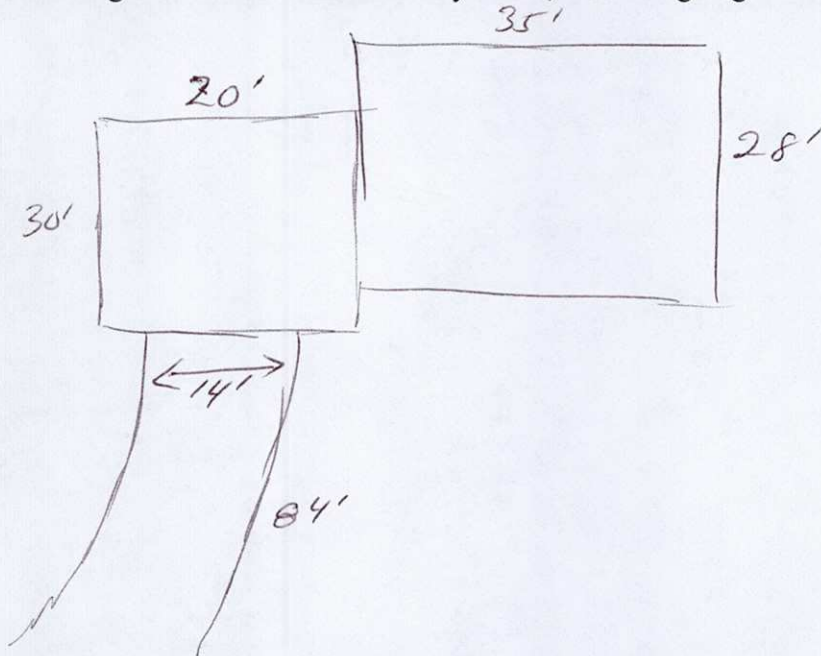
Sincerely,


Andrew F. Reczek
Director

Cc: File

Dear Mr. Reczek,

The following area the dimensions of my home, attached garage and driveway:



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MAR 10 2006
CODES

In addition, the intended use of this building will be for storage of equipment and rough lumber. The floor will be 4" of stone.

If you have any other questions, please contact me at 610-466-7000.

Sincerely,


Robert Morrow



CALN TOWNSHIP

DEPARTMENT OF CODE ENFORCEMENT
Andrew F. Reczek, Director of Code Enforcement
Gary E. Shesko, Housing Officer/Deputy Fire Marshall
Stephen L. Miller, Code Official/Deputy Fire Marshall

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610-384-0400 fax: 610-384-0689 Email: andyr@calntownship.org
253 Municipal Drive, P.O. Box 72149 Thomdale, Pa. 19372-0149

March 9, 2006

Robert Morrow
1104 North Bailey Road
Coatesville, PA 19320

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OK 3/10/06 ✓
Changed to 2x12 Need Bolted connection
See Graber Supply Change 3/10/06
Not for vehicles

- 1) The dimensions of your existing home, attached garage and driveway. This is required to allow the proper impervious and building coverage calculation to be performed.
- 2) Table R502.5 (1) of the 2003 International Building Code limits (2) 2" x 8" Load-bearing Beams and Girders in a 24' wide building to 6' 4 1/2". The plan provided shows these dimensions as approximately 8' on center. Please increase the beam dimensions or provide calculation supporting the existing feature
- 3) The "Truss Tie Down" detail is not sealed by a design professional. Figure R802.5.1 establishes the required truss connection to resist uplift for trusses spaced a maximum of 24" on center. Your plans reference truss spacing of 4' on center. Please provide the design professional's seal and signature on this detail along with the required calculations.
- 4) Please note the intended use of the proposed building. Buildings such as this used for the storage of vehicles require a noncombustible or asphalt floor surface.

Once the requested information has been provided, the review process can continue. Please feel free to contact me should you have any further questions

Sincerely,

Andrew F. Reczek
Andrew F. Reczek
Director

Cc: File

RECEIVED
MAR 10 2006
CODES

TOWNSHIP OF CALN

PERMIT

Permit No: 2006-00070-BUI

Date Issued: 3/16/2006

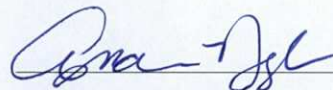
Location of Work: 1104 BAILEY RD

Type of Work: ACCESSORY BUILDING

Owner: ROBERT & CHRISTINA MORROW

Contractor: GRABER SUPPLY, LLC

Parcel #: 39-1-78.1



ZONING OFFICER

THIS PLACARD MUST BE POSTED IN A CONSPICUOUS PLACE ON THE PREMISES, EASILY VISIBLE FROM THE PRINCIPAL STREET, WELL SECURED IF EXPOSED TO THE WEATHER, DURING THE

WORK MUST BE STARTED WITHIN 6 MONTHS FROM DATE OF ISSUE



CALN TOWNSHIP
 253 Municipal Drive, Thorndale, PA 19372
 610/384-0600, Fax - 610/384-0689

BUILDING PERMIT APPLICATION - PERMIT FEES ARE NON-REFUNDABLE
 Minimum fee due at time of permit application

Address 1104 N. Bailey Subdivision _____ Lot # _____ Zoning Dist. R-2

- Building Improvement**
- New Building
 - Addition
 - Alteration
 - Basement
 - Deck /Ramp
 - Demolition
 - Driveway
 - Fire Protection ***
 - Hot Tub **see directions
 - Tenant fit-out
 - Mechanical **
 - Patio
 - Plumbing
 - Pool **see directions
 - Roof **see directions
 - Shed (>500 sq.ft.)
 - Sprinkler/Alarm
 - Tank.
 - Other

IDENTIFICATION - To be completed by all applicants
OWNER
 Name: ROBERT MORROW
 Address: 1104 NORTH BAILEY ROAD
COATESVILLE, PA 19320
 Phone #: 610-466-7000

DATE: 2/22/06
 Job Cost: 11,000.00

Sewage Disposal
 Public
 Private

Water Supply
 Public
 Private

Contractor Information:
 Name: GRABER Supply
 Address: 491 GAP NEWPORT PIKE
ATGLEN, PA 19310
 Phone #: 610-593-3500

Principal Type of Frame
 Frame
 Masonry
 Wood
 Structural Steel
 Reinforced Concrete
 Other/specify

Residential Location: Commercial Location:

Site located in Flood Area
 Yes No

Submit floor plan showing Location w/clearances & material types /Mechanical Central AC?
 Yes No
 Will there be an Elevator?
 Yes No

Residential Building Area:
 # of Stories _____
 Basement _____
 Garage _____
 1st. Floor _____
 2nd. Floor _____
 Total Habitable Space _____

Commercial Projects:
 Use Group _____
 Classification _____
 Occupancy _____
 Load _____
 Sprinklered Yes No

Residential Bldg. Only
 # Bedrooms _____
 # Bathrooms _____

Type of Heating Fuel
 Gas
 Oil
 Electric
 Coal
 Other

Lot Area 1 1/3 ACRES 4356 sq.ft.
 Building Coverage 960 sq.ft.
 Total Impervious Coverage _____ sq.ft.

Off Street Parking Spaces.

DESCRIPTION /COMMERCIAL ACTIVITIES _____

SIGNATURE OF APPLICANT: [Signature] DATE: 2/21/06

DO NOT WRITE IN THIS SPACE - FOR OFFICE USE ONLY

Permit # 00070 Approved By: [Signature] Permit Fee: 288.00 RECEIVED Date Issued: 3/16/06

REMARKS: See Attached Review Comment
 FEB 22 2005
 CODES

Date 2-22-06

Township of Caln
Receipt and Proof of Payment

Trustee Creek
No 13552 1189

GENERAL FUND

\$231.00

- 01-10-322-910 --- Police Services _____
- 01-10-322-900 --- Street Opening Fee _____
- 01-10-331-125 --- Vehicle/Speed Ctrl/Ordinance _____
- 01-10-345-060 --- Act 205 - Pension _____
- 01-10-345-061 --- Fireman s Relief _____
- 01-10-345-080 --- Beverage License _____
- 01-10-361-305 --- Planning Fees _____
- 01-10-361-320 --- Act 247 Review/Inspection _____
- 01-10-361-340 --- Zoning Hearing _____
- 01-10-362-410 --- Building Permit *\$231.00* _____
- 01-10-362-451 --- U & O New _____
- 01-10-362-452 --- U & O Res & Com _____
- 01-10-362-601 --- Housing Annual Rental Fee _____
- 01-10-362-602 --- Housing Tenant Change Fee _____
- 01-10-362-610 --- Contractor s License Fee _____
- 01-10-363-700 --- Bus Shelters _____
- 01-10-380-100 --- Miscellaneous _____
- 01-10-387-303 --- Lloyd Park Investment _____
- 01-10-395-100 --- Refund _____
- 01- _____ --- _____
- 01- _____ --- _____
- 01- _____ --- _____
- 01- _____ --- _____
- 01- _____ --- _____

PAID
FEB 22 2006
CODES

Department *JB*

Treasurer _____

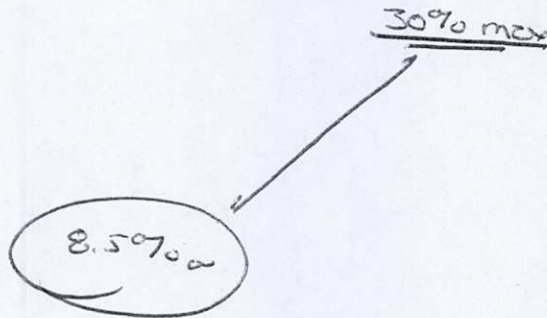
R-2 Zoning District
 Lot Area 43,560
 On lot water
 On lot sewer

Setback 50' front
 20' side
 40' rear
 10' Accessory structure rear yard
 Detached Buld. 155-107 A(1)

Setbacks 50' front ok
 15' side ok
 20' rear ok

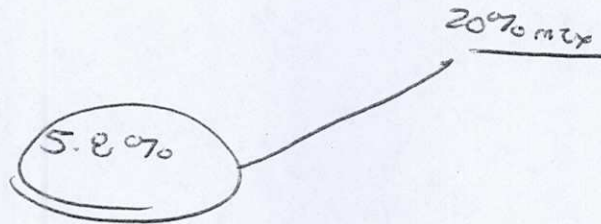
Impervium Coverage
 Ex. Home 980 ✓
 Ex. Garage 600 ✓
 Gr. Drive 1,176
 New Barn 960 ✓

 3716
 ÷ 43560 =



Building Coverage
 Total Building 2540

 ÷ 43560 =



Building Permit Fee

960 sq. ft Accessory Structure
 x 0.30

 = \$288.00
 Paid 2/22/06 231.00

Balance Due = 57.00